



Commission Hearing Date: 05/11/2026

Design Review Board Meeting: N/A

Application Type:

- Conditional Use
Variance
Manufactured Home
Sign
Text Amendment
Rezoning
Certificate of Appropriateness - DRB
Certificate of Appropriateness - Comm
Interpretation
Request for Rehearing
Violation
Appeal

Is this item on the consent agenda? Yes/No

Parcel # R064-0421

Address 1014 Gray Hwy

Applicant Macon Vortex PropCo LLC

Zoning District C-4

Application Description To allow for a drive-in restaurant

Items & Approvals required:

- None, issue once approved
Macon-Bibb Engineer
Health Department
Macon Water Authority
Fire Department
Traffic Engineer
GDOT
Variance
Landscape plan
Certificate of Appropriateness
Additional applications:

Items & Approvals obtained:

- None, issue once approved
Macon-Bibb Engineer
Health Department
Macon Water Authority
Fire Department
Traffic Engineer
GDOT
Variance
Landscape plan
Certificate of Appropriateness
Additional applications:

Application Accepted by Will Finkelstein

Staff Report by

Sign provided to Inspectors

Hearing Results:

- Approved
Denied
Deferred to agenda

C:\DKAM_Ruiz_Consulting, LLC\Project_Folders\DKAM_Projects\07_Jack_in_the_Box\07-008-26_Hordees_to_JIB (Macon - GA)\02_Design\Working Drawings\Architectural\SD1.0_Site Plan.dwg - Tuesday, March 17, 2026 10:29:26 AM - BY: DAVID RUIZ

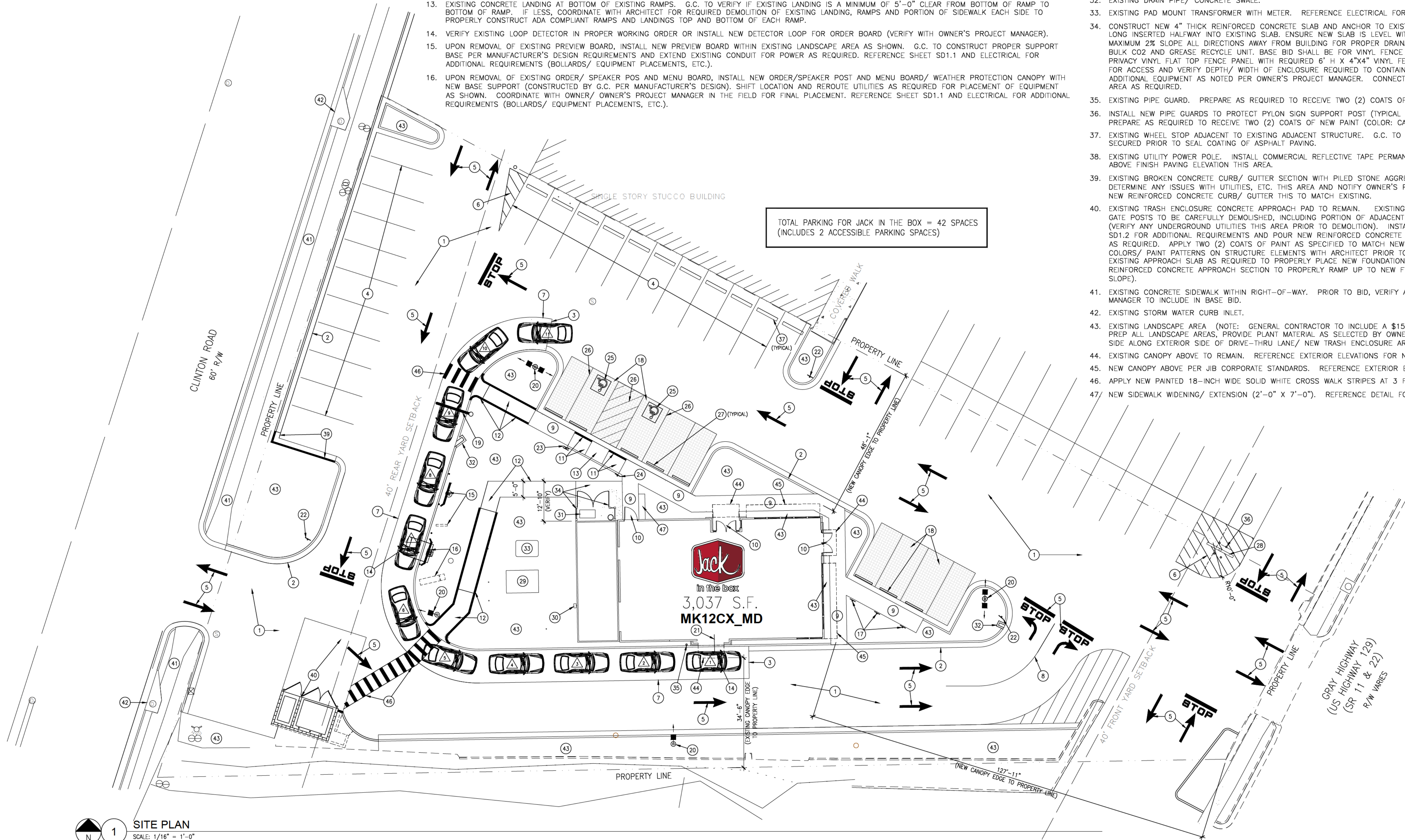
GENERAL NOTES:

- A. THE GENERAL CONTRACTOR SHALL VERIFY WITH OWNER'S PROJECT MANAGER IN THE FIELD SPECIFIC PLACEMENT OF ALL DRIVE-THRU EQUIPMENT PRIOR TO PLACEMENT OF IN-GROUND SUPPORT FOOTINGS (FOUNDATION SUPPORTS BY G.C./ COORDINATE WITH VENDOR AS REQUIRED) AND ROUTING OF ANY REQUIRED UTILITIES AS NEEDED.
- B. EXISTING ACCESSIBLE PARKING/ EGRESS PATHWAYS SHALL BE IN STRICT COMPLIANCE WITH LOCAL/ STATE REQUIREMENTS AS IT RELATES TO SIZE, STRIPING PLACEMENT, COLORS OF STRIPING, SIGNAGE AND PAVING/ EGRESS SLOPES. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH ARCHITECT TO VERIFY ALL SLOPES REQUESTED ON SITE (INCLUDING ALL SIDEWALKS ON SITE) PRIOR TO START OF CONSTRUCTION TO DETERMINE IF ANY ADDITIONAL MODIFICATIONS REQUIRED. THE G.C. TO REFERENCE SPECIFIC KEYNOTES THIS SHEET FOR ALL SLOPES, ETC. TO BE VERIFIED PRIOR TO START OF CONSTRUCTION.

KEYNOTES

1. EXISTING ASPHALT PAVING. PROPERLY REMOVE ALL PAINTED STRIPING, DIRECTIONAL ARROWS, ETC. ON PAVING AND CLEAN ALL EXISTING AREAS TO RECEIVE NEW SEAL COAT. VERIFY IN THE FIELD SITE PROPERTY BOUNDARIES/ ADJACENT SHOPPING CENTER PARKING AREAS WITH OWNER'S PROJECT MANAGER IN THE FIELD PRIOR TO BID TO VERIFY ALL AREAS OF ASPHALT TO RECEIVE NEW SEAL COAT AT SHARED PARKING SPACES AT MAIN SHOPPING CENTER PARKING AREAS.
2. EXISTING CONCRETE CURB/ GUTTER.
3. EXISTING DRIVE-THRU LANE CONCRETE PAVING.
4. AFTER APPLYING NEW ASPHALT SEAL COAT, APPLY NEW 4 INCH WIDE PAINTED PARKING STRIPING TO MATCH PREVIOUS LAYOUT (COLOR: TRAFFIC WHITE). CONTRACTOR TO ENSURE ALL STRIPING MEETS THE LOCAL MUNICIPALITY GUIDELINES (SPACING, LENGTHS, ETC.) AND COORDINATE WITH ARCHITECT PRIOR TO APPLICATION.
5. AFTER APPLYING NEW ASPHALT SEAL COAT, APPLY NEW PAINTED DIRECTIONAL ARROWS WITH 12" WIDE STOP LINE AND "STOP" WORDING AS SHOWN IN SPECIFIC AREAS.
6. AFTER APPLYING NEW ASPHALT SEAL COAT, APPLY NEW 4 INCH WIDE/ DIAGONAL PAINTED STRIPING AS SHOWN (STRIPING TO BE 3'-0" O.C.).
7. NEW 6 INCH WIDE PAINTED STRIPING AT EDGE OF ASPHALT AT CONCRETE DRIVE THRU LANE AFTER SEAL COATING OF EXISTING ASPHALT PAVING.
8. NEW 6 INCH WIDE PAINTED STRIPING AT CENTER OF DRIVE AT 10'-0" LONG BETWEEN DIRECTIONAL ARROWS.
9. EXISTING CONCRETE SIDEWALK. G.C. TO REFERENCE GENERAL NOTES FOR VERIFICATION REQUIREMENTS OF EXISTING SIDEWALKS (SLOPES, ETC.) PRIOR TO START OF PROJECT.
10. EXISTING CONCRETE SIDEWALK/ ACCESSIBLE LANDING AT EXTERIOR. REFERENCE FLOOR PLAN AND GENERAL NOTES THIS SHEET FOR ADDITIONAL G.C. REQUIREMENTS PRIOR TO START OF CONSTRUCTION.
11. EXISTING CONCRETE ACCESSIBLE RAMP (NOTE: REFERENCE KEYNOTE NO. 13 PRIOR TO CONSTRUCTION FOR POSSIBLE ADDITIONAL MODIFICATIONS NEEDED). G.C. CONSTRUCT NEW 6 INCH WIDE X 5 INCH HIGH REINFORCED CONCRETE CURB AT TOP EDGE OF RAMP ADJACENT TO PARKING PAVING AND ANCHOR TO EXISTING RAMP WITH #4 REBAR TO ENSURE EXISTING RAMP MEETS CURRENT ADA REQUIREMENTS. APPLY "CAUTION YELLOW" PAINT TO TOP AND ALL SIDES OF NEW CONCRETE CURB (COORDINATE AND VERIFY DIMENSIONS/ SLOPES WITH ARCHITECT PRIOR TO START OF PROJECT). REFERENCE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
12. REMOVE PORTION OF LANDSCAPING (COMPACT SOILS TO 95% DENSITY) TO CONSTRUCT NEW REINFORCED CONCRETE SIDEWALK EXTENSION, MAXIMUM 1:12 CONCRETE RAMP OR MAXIMUM 5% SLOPED SIDEWALK WITH 5' LONG LANDING TO BE LEVEL AT EXISTING DRIVE-THRU LANE ELEVATION WITH REINFORCED 6 INCH RAISED CURBING EACH SIDE OF RAMP OR SLOPED SIDEWALK AND BOTTOM LANDING (MAXIMUM 2.0% SLOPE ALL DIRECTIONS IN ORDER TO PROPERLY DRAIN WATER INTO DRIVE AREA; NO STANDING WATER SHALL BE ALLOWED). PROVIDE HEAVY BROOM FINISH FOR NON-SLIP FINISH ALL AREAS. CURBS EACH SIDE OF RAMP (TOPS AND SIDES EXPOSED) TO BE PAINTED WITH TWO (2) COATS OF PAINT, COLOR: "CAUTION YELLOW". COORDINATE WITH ARCHITECT FOR SPECIFIC DETAILS AS NEEDED PRIOR TO CONSTRUCTION FOR SPECIFIC RAMP AND SLOPED SIDEWALK LOCATIONS TO ENSURE PROPER SLOPES MEET REQUIRED EXISTING GRADE ELEVATIONS. ENSURE EXISTING ABOVE AND BELOW GRADE UTILITIES (CLEANOUTS, ETC.) ARE NOT INTERFERED WITH AND ADJUST SIDEWALK ACCORDINGLY (COORDINATE WITH ARCHITECT).
13. EXISTING CONCRETE LANDING AT BOTTOM OF EXISTING RAMPS. G.C. TO VERIFY IF EXISTING LANDING IS A MINIMUM OF 5'-0" CLEAR FROM BOTTOM OF RAMP TO BOTTOM OF RAMP. IF LESS, COORDINATE WITH ARCHITECT FOR REQUIRED DEMOLITION OF EXISTING LANDING, RAMPS AND PORTION OF SIDEWALK EACH SIDE TO PROPERLY CONSTRUCT ADA COMPLIANT RAMPS AND LANDINGS TOP AND BOTTOM OF EACH RAMP.
14. VERIFY EXISTING LOOP DETECTOR IN PROPER WORKING ORDER OR INSTALL NEW DETECTOR LOOP FOR ORDER BOARD (VERIFY WITH OWNER'S PROJECT MANAGER).
15. UPON REMOVAL OF EXISTING PREVIEW BOARD, INSTALL NEW PREVIEW BOARD WITHIN EXISTING LANDSCAPE AREA AS SHOWN. G.C. TO CONSTRUCT PROPER SUPPORT BASE PER MANUFACTURER'S DESIGN REQUIREMENTS AND EXTEND EXISTING CONDUIT FOR POWER AS REQUIRED. REFERENCE SHEET SD1.1 AND ELECTRICAL FOR ADDITIONAL REQUIREMENTS (BOLLARDS/ EQUIPMENT PLACEMENTS, ETC.).
16. UPON REMOVAL OF EXISTING ORDER/ SPEAKER POS AND MENU BOARD, INSTALL NEW ORDER/SPEAKER POST AND MENU BOARD/ WEATHER PROTECTION CANOPY WITH NEW BASE SUPPORT (CONSTRUCTED BY G.C. PER MANUFACTURER'S DESIGN). SHIFT LOCATION AND REROUTE UTILITIES AS REQUIRED FOR PLACEMENT OF EQUIPMENT AS SHOWN. COORDINATE WITH OWNER/ OWNER'S PROJECT MANAGER IN THE FIELD FOR FINAL PLACEMENT. REFERENCE SHEET SD1.1 AND ELECTRICAL FOR ADDITIONAL REQUIREMENTS (BOLLARDS/ EQUIPMENT PLACEMENTS, ETC.).

17. DEDICATED WAITING STALL PARKING SIGN. REFERENCE DETAIL 13/SD1.1. PAINT PARKING STRIPING SW6832 "IMPULSIVE PURPLE", INCLUDING NEW WHEEL STOPS TO BE INSTALLED/ SECURED THESE SPACES.
18. EXISTING PERMEABLE PARKING PAVERS TO REMAIN THESE AREAS AS SHOWN. G.C. TO ENSURE ALL PAVERS ARE LEVEL WITH ALL EDGES BEING FLUSH WITH EACH OTHER (NO PEDESTRIAN TRIPPING HAZARDS). REMOVE ANY DAMAGE PAVERS AND REPLACE, REMOVE TO INFILL WITH COMPACTED SOILS TO LEVEL, ETC. AS REQUIRED TO ENSURE ENTIRE AREAS IS LEVEL. ACCESSIBLE PARKING/ EGRESS AREAS TO BE MAXIMUM 2% SLOPE ALL DIRECTIONS (COORDINATE WITH ARCHITECT IF OTHERWISE).
19. INSTALL NEW SINGLE BAR HEIGHT CLEARANCE (9'-0") AND WARNING POLE. G.C. TO INSTALL NEW SUPPORT BASE PER DESIGN OF MANUFACTURER. REFERENCE SHEET SD1.1 FOR ADDITIONAL REQUIREMENTS.
20. EXISTING LIGHT POLE. ENSURE ALL FIXTURES IN PROPER WORKING ORDER AND NOTIFY OWNER'S PROJECT MANAGER IF OTHERWISE.
21. CENTERLINE OF OPENING OF NEW DRIVE-THRU WINDOW LOCATION. REFERENCE FLOOR PLAN AND EXTERIOR ELEVATIONS FOR ADDITIONAL REQUIREMENTS.
22. POLE MOUNTED STOP SIGN INSTALLED PER LOCAL STANDARDS.
23. EXISTING POLE MOUNTED ACCESSIBLE PARKING SIGNAGE. ENSURE SIGNAGE PER CURRENT STANDARDS AND REPLACE SIGNAGE AS REQUIRED.
24. EXISTING POLE MOUNTED ACCESSIBLE PARKING SIGN WITH "VAN" PLACARD. ENSURE SIGNAGE PER CURRENT STANDARDS AND REPLACE AS REQUIRED.
25. REAPPLY ACCESSIBLE SYMBOL OVER PARKING PAVERS SAME LOCATION AS REQUIRED. PROPERLY CLEAN PAVERS AND PREPARE AS REQUIRED TO RECEIVE NEW PAINT.
26. RE-APPLY ACCESSIBILITY PARKING STRIPING/ ACCESS AISLE WITH EDGE OF BOUNDARY LINES AS SHOWN (COORDINATE WITH ARCHITECT PRIOR TO APPLICATION) - COLOR: H.C. BLUE. REFERENCE GENERAL NOTES FOR ADDITIONAL REQUIREMENTS.
27. INSTALL NEW WHEELSTOPS AT ALL PARKING AREAS ADJACENT TO SIDEWALK. REFERENCE DETAIL FOR ADDITIONAL REQUIREMENTS.
28. EXISTING PYLON SIGN. OWNER'S SIGN VENDOR TO REPLACE SIGNAGE AS APPROVED PER LOCAL PERMITTING JURISDICTION.
29. EXISTING 1500 GALLON CAPACITY IN-GROUND GREASE TRAP. G.C. TO HIRE GREASE TRAP SERVICE COMPANY TO ENSURE UNIT IS IN PROPER WORKING ORDER AND ISSUE REPORT TO OWNER'S PROJECT MANAGER ACCORDINGLY.
30. EXISTING GAS METER.
31. NEW OIL RECYCLE UNIT. COORDINATE WITH OWNER PRIOR TO BID FOR REQUIREMENTS FOR PROPER INSTALLATION/ ROUTING OF UTILITIES AS REQUIRED PER VENDOR PROVIDED UNIT.
32. EXISTING DRAIN PIPE/ CONCRETE SWALE.
33. EXISTING PAD MOUNT TRANSFORMER WITH METER. REFERENCE ELECTRICAL FOR ADDITIONAL REQUIREMENTS.
34. CONSTRUCT NEW 4" THICK REINFORCED CONCRETE SLAB AND ANCHOR TO EXISTING BUILDING SLAB WITH NO. 5 BARS X 1'-2" LONG INSERTED HALFWAY INTO EXISTING SLAB. ENSURE NEW SLAB IS LEVEL WITH ADJACENT EXISTING SIDEWALK AND PROVIDE MAXIMUM 2% SLOPE ALL DIRECTIONS AWAY FROM BUILDING FOR PROPER DRAINAGE. NEW VINYL FENCE/ GATE ENCLOSURE FOR BULK CO2 AND GREASE RECYCLE UNIT. BASE BID SHALL BE FOR VINYL FENCE ENCLOSURE. SHALL INCLUDE 6' HIGH "WHITE" PRIVACY VINYL FLAT TOP FENCE PANEL WITH REQUIRED 6" H X 4"x4" VINYL FENCE POSTS. PROVIDE PAIR OF 5'-0" GATES FOR ACCESS AND VERIFY DEPTH/ WIDTH OF ENCLOSURE REQUIRED TO CONTAIN BOTH PIECES OF EQUIPMENT OR ANY ADDITIONAL EQUIPMENT AS NOTED PER OWNER'S PROJECT MANAGER. CONNECT NEW BULK CO2 TO EXISTING UTILITIES THIS AREA AS REQUIRED.
35. EXISTING PIPE GUARD. PREPARE AS REQUIRED TO RECEIVE TWO (2) COATS OF NEW PAINT (SW 6832 "IMPULSIVE PURPLE").
36. INSTALL NEW PIPE GUARDS TO PROTECT PYLON SIGN SUPPORT POST (TYPICAL FOR 4). REFERENCE DETAIL SHEET SD1.1. PREPARE AS REQUIRED TO RECEIVE TWO (2) COATS OF NEW PAINT (COLOR: CAUTION YELLOW).
37. EXISTING WHEEL STOP ADJACENT TO EXISTING ADJACENT STRUCTURE. G.C. TO ENSURE ALL WHEELSTOPS ARE PROPERLY SECURED PRIOR TO SEAL COATING OF ASPHALT PAVING.
38. EXISTING UTILITY POWER POLE. INSTALL COMMERCIAL REFLECTIVE TAPE PERMANENTLY SECURED AROUND POLE AT 2', 4' AND 6' ABOVE FINISH PAVING ELEVATION THIS AREA.
39. EXISTING BROKEN CONCRETE CURB/ GUTTER SECTION WITH PILED STONE AGGREGATE THIS AREA. G.C. TO INSPECT AREA TO DETERMINE ANY ISSUES WITH UTILITIES, ETC. THIS AREA AND NOTIFY OWNER'S PROJECT MANAGER OF ANY FINDINGS. INSTALL NEW REINFORCED CONCRETE CURB/ GUTTER THIS TO MATCH EXISTING.
40. EXISTING TRASH ENCLOSURE CONCRETE APPROACH PAD TO REMAIN. EXISTING TRASH ENCLOSURE WALL, FOUNDATIONS AND GATE POSTS TO BE CAREFULLY DEMOLISHED, INCLUDING PORTION OF ADJACENT CONCRETE CURBING/ PAVING AS REQUIRED (VERIFY ANY UNDERGROUND UTILITIES THIS AREA PRIOR TO DEMOLITION). INSTALL NEW TRASH ENCLOSURE PER DETAIL SHEET SD1.2 FOR ADDITIONAL REQUIREMENTS AND POUR NEW REINFORCED CONCRETE CURB/ GUTTER ADJACENT TO NEW ENCLOSURE AS REQUIRED. APPLY TWO (2) COATS OF PAINT AS SPECIFIED TO MATCH NEW PAINT COLORS ON STRUCTURE. COORDINATE COLORS/ PAINT PATTERNS ON STRUCTURE ELEMENTS WITH ARCHITECT PRIOR TO ORDERING OF PAINT MATERIALS (NOTE: SAWCUT EXISTING APPROACH SLAB AS REQUIRED TO PROPERLY PLACE NEW FOUNDATION AND POUR NEW PORTION OF SLOPED REINFORCED CONCRETE APPROACH SECTION TO PROPERLY RAMP UP TO NEW FINISH FLOOR OF NEW ENCLOSURE (MAXIMUM 5% SLOPE)).
41. EXISTING CONCRETE SIDEWALK WITHIN RIGHT-OF-WAY. PRIOR TO BID, VERIFY ANY REPAIRS NEEDED WITH OWNER'S PROJECT MANAGER TO INCLUDE IN BASE BID.
42. EXISTING STORM WATER CURB INLET.
43. EXISTING LANDSCAPE AREA (NOTE: GENERAL CONTRACTOR TO INCLUDE A \$15,000.00 ALLOWANCE IN BASE BID TO CLEAN/ PREP ALL LANDSCAPE AREAS, PROVIDE PLANT MATERIAL AS SELECTED BY OWNER AND TRIM TREE BRANCHES AT DRIVE THRU SIDE ALONG EXTERIOR SIDE OF DRIVE-THRU LANE/ NEW TRASH ENCLOSURE AREA AS DIRECTED BY OWNER'S PROJECT MANAGER.
44. EXISTING CANOPY ABOVE TO REMAIN. REFERENCE EXTERIOR ELEVATIONS FOR NEW FINISH PAINT COLOR.
45. NEW CANOPY ABOVE PER JIB CORPORATE STANDARDS. REFERENCE EXTERIOR ELEVATIONS FOR ADDITIONAL REQUIREMENTS.
46. APPLY NEW PAINTED 18-INCH WIDE SOLID WHITE CROSS WALK STRIPES AT 3 FEET O.C. MAX.
47. NEW SIDEWALK WIDENING/ EXTENSION (2'-0" X 7'-0"). REFERENCE DETAIL FOR ADDITIONAL REQUIREMENTS.



SITE PLAN
SCALE: 1/16" = 1'-0"

NO. _____	DATE: _____
REVISION DESCRIPTION:	
NO. _____	DATE: _____
REVISION DESCRIPTION:	
NO. _____	DATE: _____
REVISION DESCRIPTION:	
NO. _____	DATE: _____
REVISION DESCRIPTION:	

DKAM RUIZ CONSULTING, LLC
ARCHITECTURAL AND CONSULTING SERVICES
Baton Rouge, LA 70805

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PROJECT INFORMATION:

**J6604
JACK IN THE BOX
CONVERSION
MK12CX_MD**

1014 GRAY HIGHWAY
MACON, GA 31211

DEVELOPER/ PROJECT MANAGER:

BRIAN PITTS
BLUE HORIZON CONSULTING LLC

PROJECT NO: 07-008-26
DATE: MARCH 30, 2026
CHECKED BY: DWR

SITE PLAN

SHEET NO.
SD1.0

Twice The Ice



C & J Velvet Hall



Cod Tail of Macon



Cloud 9 Smoke Shop, Vape & Hookah...



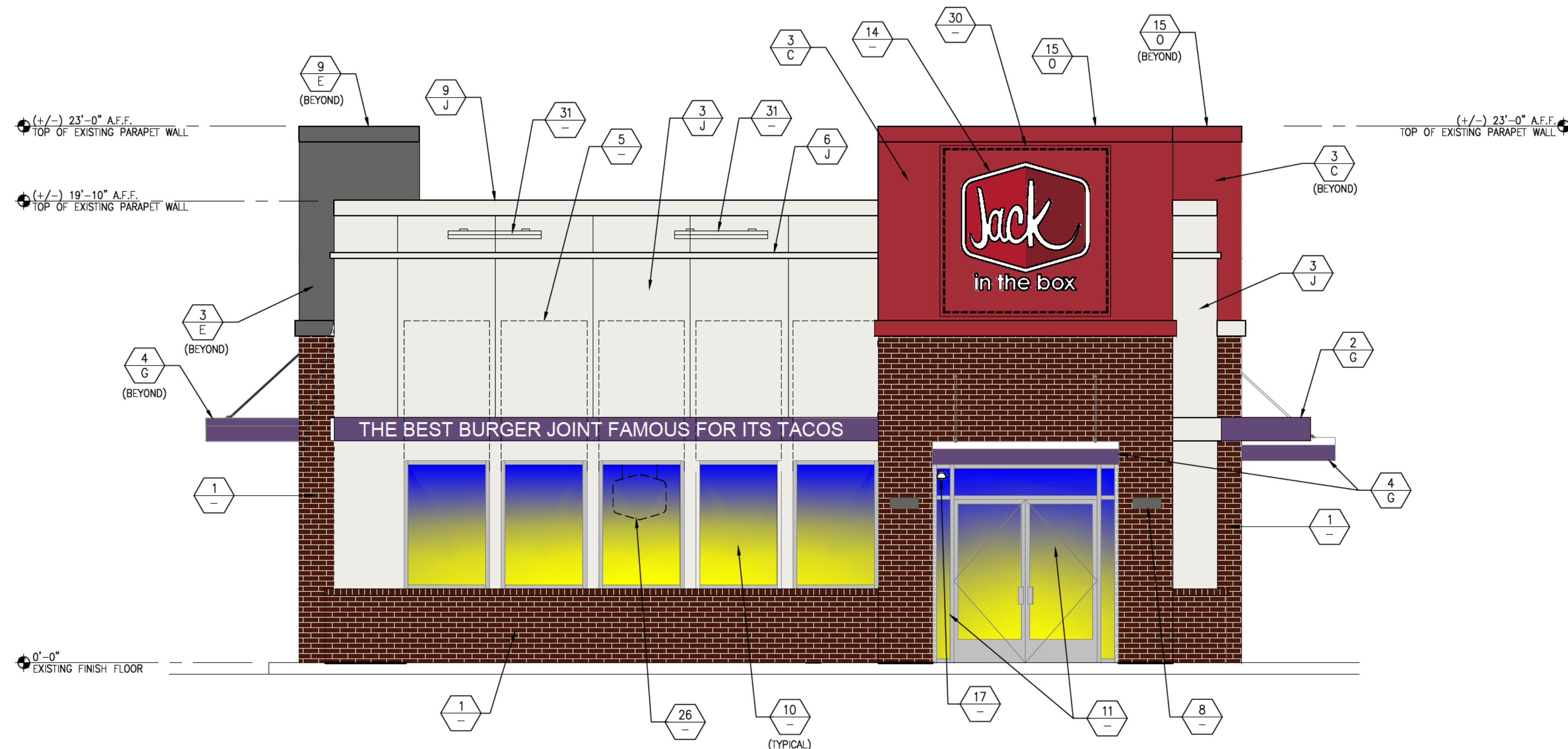
Clinton Rd

Clinton Rd

Clinton Rd



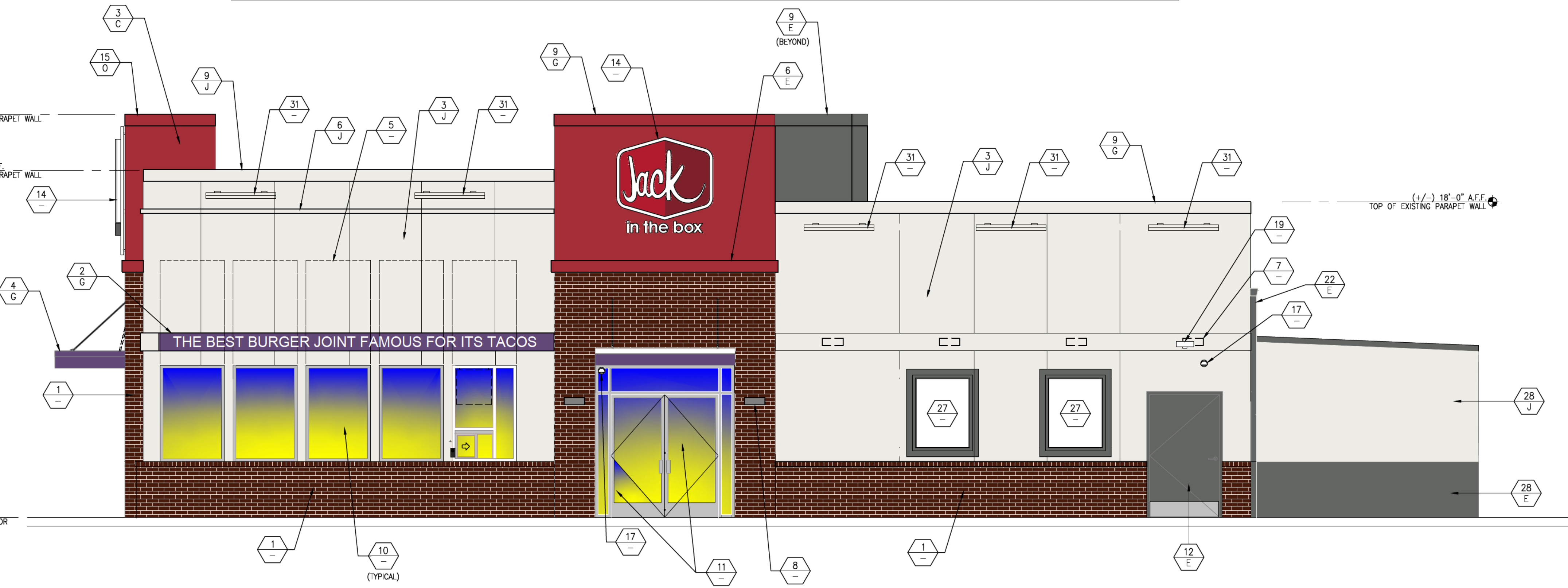
C:\DKAM_Ruiz_Consulting, LLC\Project_Folders\DKAM_Projects\07 Jack in the Box\07-008-26 Hardwares to JIB (Macon - GA)\02 Design\Working Drawings\Architectural\A4.0 Exterior Elevations.dwg - Friday, March 27, 2026 7:20:34 PM - BY: DAVID RUIZ



1 BUILDING ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"

SIGNAGE NOTE:

ANY AND ALL SIGNAGE DEPICTED WITHIN THESE DRAWINGS ARE SCHEMATIC IN NATURE (FINAL PLACEMENT AND ACTUAL SIZE OF EACH SIGN TO BE DETERMINED PER FUTURE APPROVAL). ANY APPROVAL RECEIVED FOR THIS CONDITIONAL USE PERMIT OR BUILDING REVIEW DOES NOT CONSTITUTE APPROVAL FOR THE CONSTRUCTION OF ANY SIGN/ SIGN STRUCTURE COVERED WITHIN MACON-BIBB COUNTY AND ALL SIGNAGE MUST COMPLY WITH THE MACON-BIBB COUNTY PLANNING AND ZONING DEPARTMENT. ALL PROPOSED SIGNAGE, INCLUDING SIGNAGE RE-FACING, SIGNAGE STRUCTURES, ARE REQUIRED TO BE SUBMITTED BY A SEPARATE APPLICATION BY THE OWNER'S SIGN VENDOR FOR REVIEW/ APPROVAL BY MACON-BIBB COUNTY PLANNING AND ZONING. ONLY THE APPROVED SIGNAGE PER SEPARATE SUBMITTAL SHALL BE INSTALLED THIS STRUCTURE AND WITHIN THE ESTABLISHED PROPERTY BOUNDARIES OF THIS PROJECT SITE.



2 BUILDING ELEVATION (MAIN ENTRY SIDE)
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A. ANY AND ALL SIGNAGE DEPICTED WITHIN THESE DRAWINGS ARE SCHEMATIC IN NATURE. ANY APPROVAL RECEIVED FOR THIS BUILDING PERMIT DOES NOT CONSTITUTE APPROVAL FOR THE CONSTRUCTION OF ANY SIGN/ SIGN STRUCTURE COVERED WITHIN THE LOCAL PERMITTING AUTHORITY. SIGNAGE MUST COMPLY WITH ALL LOCAL/ STATE APPLICABLE CODES AND ANY APPROVED SIGN PLAN FROM THE LOCAL PERMITTING AUTHORITY. ALL PROPOSED SIGNAGE INCLUDING SIGNAGE STRUCTURES ARE REQUIRED TO BE SUBMITTED BY THE SELECTED SIGN VENDOR UNDER SEPARATE APPLICATION AND SHALL BE PROCESSED FOR REVIEW BY THE LOCAL MUNICIPALITY AS REQUIRED.
- A. REFER TO A1.0 FOR DOOR & WINDOW TAGS & A8.0 SHEET SERIES FOR DOOR & WINDOW NOTES.
- B. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C)
- D. ALL EXTERIOR MASONRY TO BE THOROUGHLY CLEANED..
- E. ALL EXTERIOR LIGHTING & EQUIPMENT ARE TO BE SUBMITTED TO ARCHITECT FOR REVIEW & APPROVAL.
- F. ALL ELEVATION HEIGHTS NOTED AS (+/-) SHALL BE VERIFIED IN THE FIELD BY ALL BIDDING CONTRACTORS.
- G. GENERAL CONTRACTOR SHALL COORDINATE WITH CANOPY SUPPLIER FOR REQUIRED BLOCKING FOR SUPPORT OF CANOPIES.
- H. ALL WALL ELEMENTS (LIGHT FIXTURES JUNCTION BOXES CANOPIES ETC. THAT ARE TO BE REMOVED/ RELOCATED ETC. SHALL HAVE THE EXISTING WALL AREAS REPAIRED THESE AREAS TO MATCH EXISTING WALL FINISH/ TEXTURE AS REQUIRED TO RECEIVE NEW PAINT FINISHES AS SPECIFIED.
- I. NEW DRIVE-THRU WINDOW TO BE PROPERLY INSTALLED AND FLASHED FOR WATER-TIGHT INSTALLATION AT NEW LOCATION.

COLORS (NOT ALL COLORS/ MATERIALS USED)

- A. DARK BRONZE ANODIZED ALUMINUM
- B. COLOR/ FINISH TO MATCH ADJACENT SURFACE
- C. SHERWIN WILLIAMS: SW 7588 "SHOW STOPPER"
- D. JIB LOGOS: WHITE TEXT - RED BACKGROUND
- E. SHERWIN WILLIAMS: SW 7068 "GRIZZLE GRAY"
- F. THIN-BRICK VENEER: WIRE CUT, "ICEBERG"
- G. CANOPY: SW 6832 "IMPULSIVE PURPLE"
- H. SHERWIN WILLIAMS: SW 6832 "IMPULSIVE PURPLE"
- I. DOOR PULL: RAL 3001 "SIGNAL RED"
- J. SHERWIN WILLIAMS: SW 7005 "PURE WHITE"
- K. (NOT USED)
- L. COPING: MATCH WALL COLOR BELOW
- M. ACM PANELS: "CLASSIC RED"
- N. BRICK VENEER: "MIDNIGHT SKY"
- O. NEW COPING: DUROLAST "BRITE RED"
- P. NEW WALL TILE: JIB RED (CUSTOM COLOR BY TILE MFR)

EXTERIOR FINISH SCHEDULE KEYNOTES:

1. EXISTING MODULAR BRICK VENEER. PROPERLY CLEAN AS REQUIRED (NO PAINTING; EXISTING BRICK COLOR TO REMAIN "AS-IS").
2. NEW PREFABRICATED CANOPY W/ DECAL MESSAGE AT FASCIA BY SIGN VENDOR. G.C. TO ENSURE PROPER BLOCKING IN PLACE FOR REQUIRED SUPPORT AS DETAILED BY SIGN VENDOR.
3. EXISTING STUCCO WALL SYSTEM WITH VERTICAL JOINTS AS SHOWN. PROPERLY CLEAN AND PREPARE AS REQUIRED TO RECEIVE TWO (2) COATS OF PAINT PER COLOR SPECIFIED (NOTE: ALL EXISTING WALL SIGNAGE TO BE REMOVED, ILLUMINATED AND NON-ILLUMINATED INCLUDING SPECIFIED WALL MOUNT LIGHT FIXTURES AND/ OR ELECTRICAL ITEMS TO HAVE WALLS REPAIRED TO MATCH FINISH TEXTURE, ETC. FOR ANY REMOVED ITEMS.
4. EXISTING METAL CANOPY W/ SUPPORT RODS TO REMAIN. CLEAN AND PREPARE AS REQUIRED TO RECEIVE TWO (2) COATS OF PAINT AS SPECIFIED.
5. EXISTING PRE-FAB METAL AWNING TO BE CAREFULLY REMOVED AND DISCARDED. PATCH EXISTING WALL TO MATCH.
6. EXISTING STUCCO BAND TRIM TO BE PAINTED AS SPECIFIED.
7. EXISTING EXTERIOR LIGHT FIXTURE TO BE REMOVED (TYPICAL AT STUCCO BAND). CAP ELECTRICAL THIS AREA AS REQUIRED.
8. REPLACE EXISTING LIGHT FIXTURE THIS AREA WITH NEW AS SPECIFIED. TYPICAL FOR 2 EACH SIDE OF DOORS THIS ELEVATION.
9. EXISTING METAL COPING TO REMAIN. CLEAN AND PREPARE AS REQUIRED TO RECEIVE TWO (2) COATS OF PAINT AS SPECIFIED.
10. EXISTING STOREFRONT WINDOW SYSTEM (COLOR: CLEAR ANODIZED).
11. EXISTING STOREFRONT DOOR/ WINDOW SYSTEM TO REMAIN (COLOR: CLEAR ANODIZED). REFERENCE DOOR SCHEDULE FOR ADDITIONAL REQUIREMENTS.
12. EXISTING HOLLOW METAL REAR SERVICE DOOR. PREPARE EXTERIOR AS REQUIRED TO RECEIVE TWO (2) COATS OF PAINT PER COLOR AS SPECIFIED. REFERENCE DOOR SCHEDULE FOR ADDITIONAL REQUIREMENTS.
13. REMOVE EXISTING DRIVE-THRU/ STOREFRONT WINDOW SYSTEM AND INSTALL NEW DRIVE-THRU/ STOREFRONT WINDOW SYSTEM AS SHOWN TO MATCH EXISTING STOREFRONT FINISH COLOR (REFERENCE FLOOR PLAN FOR ADDITIONAL REQUIREMENTS).
14. NEW INTERNALLY ILLUMINATED SIGN TO BE PERMITTED BY OWNER'S SIGN CONTRACTOR. SIGN CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF ALL SIGNAGE ON SITE FOR REVIEW/ APPROVAL BY LOCAL PERMITTING JURISDICTION. GENERAL CONTRACTOR SHALL REFERENCE APPROVED SIGNAGE DRAWINGS FOR SPECIFIC LOCATION AND PROVIDE REQUIRED SUPPORT AS SPECIFIED PER SIGN MANUFACTURER, INCLUDING RELOCATION OF EXISTING JUNCTION BOX/ INSTALLATION OF NEW FOR ELECTRICAL SERVICE AS REQUIRED (G.C. TO COORDINATE WITH SIGN VENDOR).
15. NEW METAL COPING.
16. PROPOSED AREA FOR NEW INTERNALLY ILLUMINATED SIGN WITH WHITE LETTERS WITH "PURPLE" BACKGROUND PROVIDED BY SIGN VENDOR. G.C. TO COORDINATE ELECTRICAL WITH SIGN VENDOR. REFERENCE KEYNOTE NO. 14 FOR SIGN VENDOR RESPONSIBILITIES.
17. EXISTING OR NEW WALL MOUNT EMERGENCY EXIT LIGHT FIXTURE. ENSURE IN PROPER WORKING ORDER (TYPICAL ABOVE ALL DOORS. REPLACE AND/OR INSTALL NEW WITH REQUIRED ELECTRICAL SERVICE AS REQUIRED.
18. EXISTING SECURITY SYSTEM. OWNER'S SECURITY SYSTEM VENDOR TO VERIFY ADDITIONAL SCOPES OF WORK ALL EXTERIOR WALL AREAS WITH OWNER.
19. REMOVE EXISTING LIGHT FIXTURE THIS AREA AND DISCARD. INSTALL NEW SECURITY LIGHT FIXTURE THIS AREA. PATCH WALL FINISH TO MATCH EXISTING AS REQUIRED TO RECEIVE NEW PAINT FINISH AS SPECIFIED.
20. NOT USED.
21. NEW VINYL FENCE ENCLOSURE WITH GATES FOR NEW BULK CO2 AND GREASE RECOVERY SYSTEM. VERIFY WITH OWNER'S PROJECT MANAGER FOR SPECIFIC SIZE REQUIREMENTS TO PROPERLY ENCLOSE/ ACCESS EQUIPMENT AS REQUIRED (REFERENCE FLOOR PLAN FOR BASE BID SIZE REQUIREMENTS). ENSURE MINIMUM 1'-6" CLEAR FROM OUTSIDE EDGE OF DOOR FRAME TO VINYL FENCE POST OR NEAREST FENCE ENCLOSURE ELEMENT TO DOOR. COLOR TO MATCH BUILDING BASE WALL FINISH COLOR AS BEST AS POSSIBLE PER APPROVAL OF OWNER'S PROJECT MANAGER. VERIFY PRIOR TO ORDERING OF MATERIALS.
22. EXISTING GUTTER/ DOWNSPOUT SYSTEM. ENSURE ALL INTACT PRIOR TO BID AND INCLUDE ANY REPAIRS/ REPLACEMENT NEEDED PRIOR TO BID. PREPARE EXISTING TO REMAIN TO RECEIVE TWO (2) COATS OF NEW PAINT AS SPECIFIED. IF TO BE REPLACED, PROVIDE PREFINISH COLOR TO MATCH NEW COLOR SPECIFIED.
23. EXISTING GAS METER. PREPARE GAS PIPING AS REQUIRED TO RECEIVE TWO (2) COATS OF PAINT TO MATCH ADJACENT WALL FINISH COLOR.
24. EXISTING PIPE GUARD. PREPARE AS REQUIRED TO RECEIVE NEW PAINT COLOR AS SPECIFIED. APPLY 3 INCH WIDE BAND OF REFLECTIVE RED TAPE (TOP OF TAPE TO BE 3 INCHES FROM TOP OF POST).
25. PROVIDE JIB STANDARD ADDRESS LETTERS (VERIFY IF JIB STANDARD SIZE/ PLACEMENT WITH LOCAL FIRE DEPARTMENT MEETS LOCAL STANDARDS). SHALL MEET LOCAL REQUIRED STANDARDS.
26. INTERIOR WINDOW SIGN SUSPENDED FROM CEILING ABOVE. PROVIDE OUTLET AT CEILING. REFERENCE ELECTRICAL AND DETAIL ON SHEET ID.3.1 FOR ADDITIONAL REQUIREMENTS.
27. NEW DISPLAY POSTER PANEL AND SURROUND (ILLUMINATED POSTER GRAPHIC). ROUTE NEW ELECTRICAL AND PROVIDE JUNCTION BOX IN WALL AT CENTER OF PANEL. REFERENCE DETAIL AND ELECTRICAL FOR ADDITIONAL REQUIREMENTS.
28. EXISTING EXTERIOR WALK-IN BOX. CLEAN AND PREPARE EXISTING WALL PANELS, GUTTER/ DOWNSPOUT SYSTEM AND ANY ADDITIONAL UTILITY PIPING AT SIDES/ ON ROOF AS REQUIRED TO RECEIVE NEW PAINT FINISH AS SPECIFIED (VERIFY ALL COMPONENTS TO BE PAINTED PRIOR TO BID).
29. BACK WALL OF EXISTING HIGH PARAPET WALL BEYOND. APPLY TWO (2) COATS OF NEW PAINT FINISH TO MATCH PARAPET WALL COLOR AT FRONT SIDE.
30. ACM PANEL SYSTEM W/ HALO LIGHTING BY JIB VENDOR.
31. NEW WALL MOUNTED LIGHT FIXTURE WITH REQUIRED ELECTRICAL SERVICE. REFERENCE REFLECTED CEILING PLAN AND ELECTRICAL FOR ADDITIONAL REQUIREMENTS.
32. EXISTING THRU WALL SCUPPERS AT LOW END OF ROOF.

NO.	DATE:
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NO.	DATE:
REVISION DESCRIPTION:	
NO.	DATE:
REVISION DESCRIPTION:	
NO.	DATE:
REVISION DESCRIPTION:	

DKAM RUIZ CONSULTING, LLC
ARCHITECTURAL AND CONSULTING SERVICES
Baton Rouge, LA 70806

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PROJECT INFORMATION:

J6604 JACK IN THE BOX CONVERSION MK12CX_MD

1014 GRAY HIGHWAY
MACON, GA 31211

DEVELOPER/PROJECT MANAGER:

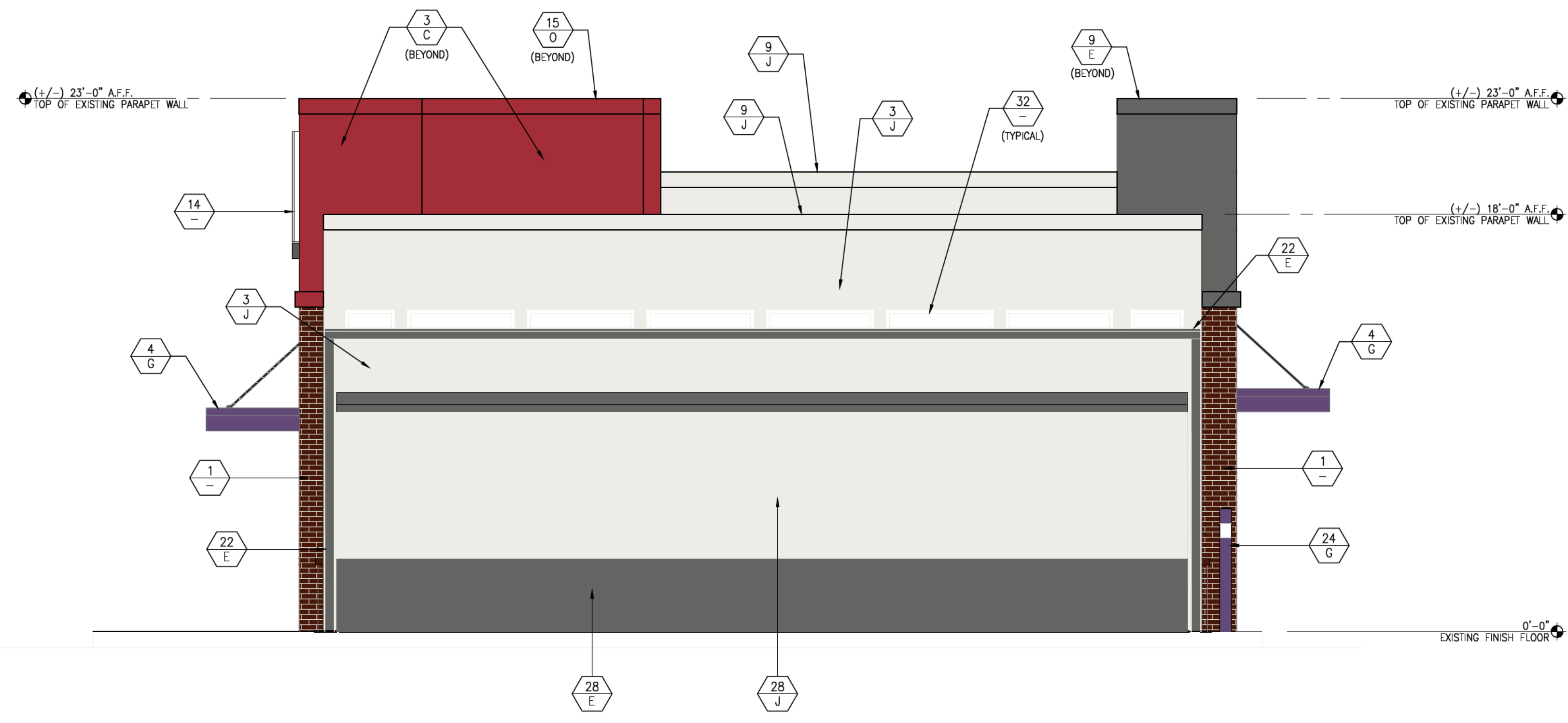
BRIAN PITTS
BLUE HORIZON CONSULTING LLC

PROJECT NO: 07-008-26
DATE: MARCH 30, 2026
CHECKED BY: DWR

EXTERIOR ELEVATIONS

SHEET NO.
A4.0

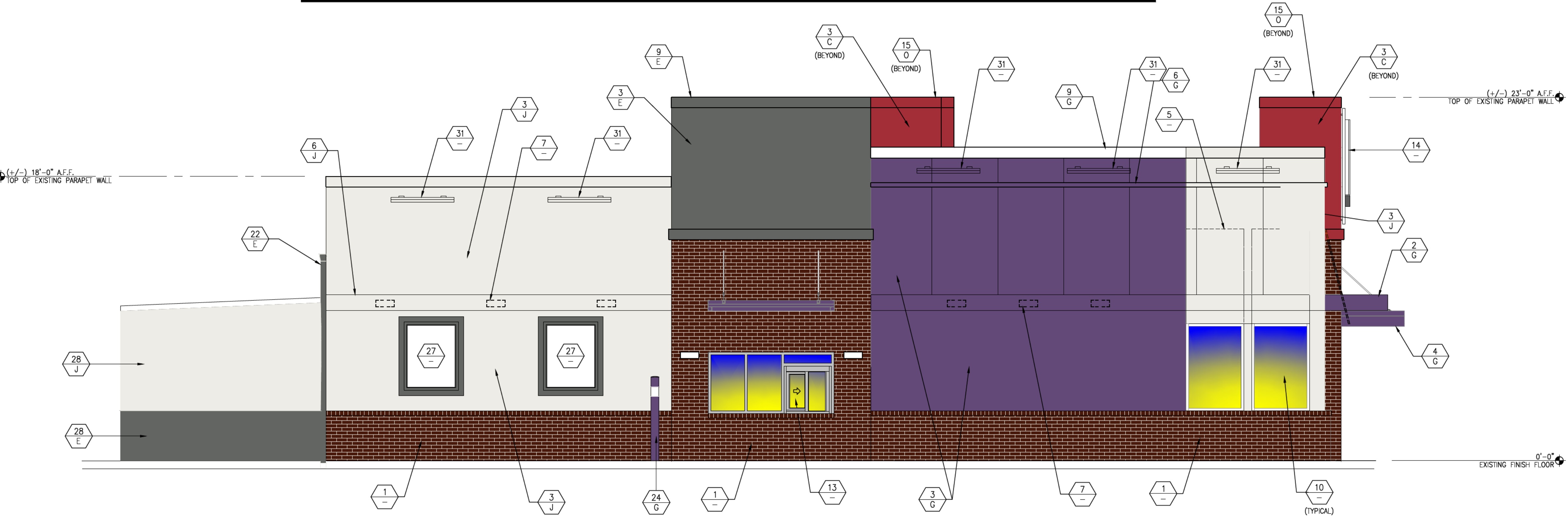
C:\DKAM Ruz Consulting, LLC\Project Folders\DKAM Projects\07 Jack in the Box\07-008-26 Harzees to JIB (Macon - GA)\02 Design\Working Drawings\Architectural\4.1 Exterior Elevations.dwg - Friday, March 27, 2026 7:21:28 PM - BY: DAVID RUIZ



1 BUILDING ELEVATION (REAR)
SCALE: 1/4" = 1'-0"

SIGNAGE NOTE:

ANY AND ALL SIGNAGE DEPICTED WITHIN THESE DRAWINGS ARE SCHEMATIC IN NATURE (FINAL PLACEMENT AND ACTUAL SIZE OF EACH SIGN TO BE DETERMINED PER FUTURE APPROVAL). ANY APPROVAL RECEIVED FOR THIS CONDITIONAL USE PERMIT OR BUILDING REVIEW DOES NOT CONSTITUTE APPROVAL FOR THE CONSTRUCTION OF ANY SIGN/ SIGN STRUCTURE COVERED WITHIN MACON-BIBB COUNTY AND ALL SIGNAGE MUST COMPLY WITH THE MACON-BIBB COUNTY PLANNING AND ZONING DEPARTMENT. ALL PROPOSED SIGNAGE, INCLUDING SIGNAGE RE-FACING, SIGNAGE STRUCTURES, ARE REQUIRED TO BE SUBMITTED BY A SEPARATE APPLICATION BY THE OWNER'S SIGN VENDOR FOR REVIEW/ APPROVAL BY MACON-BIBB COUNTY PLANNING AND ZONING. ONLY THE APPROVED SIGNAGE PER SEPARATE SUBMITTAL SHALL BE INSTALLED THIS STRUCTURE AND WITHIN THE ESTABLISHED PROPERTY BOUNDARIES OF THIS PROJECT SITE.



2 BUILDING ELEVATION (DRIVE-THRU SIDE)
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- A. ANY AND ALL SIGNAGE DEPICTED WITHIN THESE DRAWINGS ARE SCHEMATIC IN NATURE. ANY APPROVAL RECEIVED FOR THIS BUILDING PERMIT DOES NOT CONSTITUTE APPROVAL FOR THE CONSTRUCTION OF ANY SIGN/ SIGN STRUCTURE COVERED WITHIN THE LOCAL PERMITTING AUTHORITY. SIGNAGE MUST COMPLY WITH ALL LOCAL/ STATE APPLICABLE CODES AND ANY APPROVED SIGN PLAN FROM THE LOCAL PERMITTING AUTHORITY. ALL PROPOSED SIGNAGE INCLUDING SIGNAGE STRUCTURES ARE REQUIRED TO BE SUBMITTED BY THE SELECTED SIGN VENDOR UNDER SEPARATE APPLICATION AND SHALL BE PROCESSED FOR REVIEW BY THE LOCAL MUNICIPALITY AS REQUIRED.
- A. REFER TO A1.0 FOR DOOR & WINDOW TAGS & A8.0 SHEET SERIES FOR DOOR & WINDOW NOTES.
- B. ALL SIGNAGE IS UNDER SEPARATE SUBMITTAL AND PERMIT (N.I.C)
- D. ALL EXTERIOR MASONRY TO BE THOROUGHLY CLEANED..
- E. ALL EXTERIOR LIGHTING & EQUIPMENT ARE TO BE SUBMITTED TO ARCHITECT FOR REVIEW & APPROVAL.
- F. ALL ELEVATION HEIGHTS NOTED AS (+/-) SHALL BE VERIFIED IN THE FIELD BY ALL BIDDING CONTRACTORS.
- G. GENERAL CONTRACTOR SHALL COORDINATE WITH CANOPY SUPPLIER FOR REQUIRED BLOCKING FOR SUPPORT OF CANOPIES.
- H. ALL WALL ELEMENTS (LIGHT FIXTURES, JUNCTION BOXES, CANOPIES, ETC. THAT ARE TO BE REMOVED, RELOCATED, ETC. SHALL HAVE THE EXISTING WALL AREAS REPAIRED THESE AREAS TO MATCH EXISTING WALL FINISH/ TEXTURE AS REQUIRED TO RECEIVE NEW PAINT FINISHES AS SPECIFIED.
- I. NEW DRIVE-THRU WINDOW TO BE PROPERLY INSTALLED AND FLASHED FOR WATER-TIGHT INSTALLATION AT NEW LOCATION.

COLORS (NOT ALL COLORS/ MATERIALS USED)

- A. DARK BRONZE ANODIZED ALUMINUM
- B. COLOR/ FINISH TO MATCH ADJACENT SURFACE
- C. SHERWIN WILLIAMS: SW 7588 "SHOW STOPPER"
- D. JIB LOGOS: WHITE TEXT - RED BACKGROUND
- E. SHERWIN WILLIAMS: SW 7068 "GRIZZLE GRAY"
- F. THIN-BRICK VENEER: WIRE CUT, "ICEBERG"
- G. CANOPY: SW 6832 "IMPULSIVE PURPLE"
- H. SHERWIN WILLIAMS: SW 6832 "IMPULSIVE PURPLE"
- I. DOOR PULL: RAL 3001 "SIGNAL RED"
- J. SHERWIN WILLIAMS: SW 7005 "PURE WHITE"
- K. (NOT USED)
- L. COPING: MATCH WALL COLOR BELOW
- M. ACM PANELS: "CLASSIC RED"
- N. BRICK VENEER: "MIDNIGHT SKY"
- O. NEW COPING: DURALAST "BRITE RED"
- P. NEW WALL TILE: JIB RED (CUSTOM COLOR BY TILE MFR)

EXTERIOR FINISH SCHEDULE KEYNOTES:

1. EXISTING MODULAR BRICK VENEER. PROPERLY CLEAN AS REQUIRED (NO PAINTING; EXISTING BRICK COLOR TO REMAIN "AS-IS").
2. NEW PREFABRICATED CANOPY W/ DECAL MESSAGE AT FASCIA BY SIGN VENDOR. G.C. TO ENSURE PROPER BLOCKING IN PLACE FOR REQUIRED SUPPORT AS DETAILED BY SIGN VENDOR.
3. EXISTING STUCCO WALL SYSTEM WITH VERTICAL JOINTS AS SHOWN. PROPERLY CLEAN AND PREPARE AS REQUIRED TO RECEIVE TWO (2) COATS OF PAINT PER COLOR SPECIFIED (NOTE: ALL EXISTING WALL SIGNAGE TO BE REMOVED, ILLUMINATED AND NON-ILLUMINATED INCLUDING SPECIFIED WALL MOUNT LIGHT FIXTURES AND/ OR ELECTRICAL ITEMS TO HAVE WALLS REPAIRED TO MATCH FINISH TEXTURE, ETC. FOR ANY REMOVED ITEMS.
4. EXISTING METAL CANOPY W/ SUPPORT RODS TO REMAIN. CLEAN AND PREPARE AS REQUIRED TO RECEIVE TWO (2) COATS OF PAINT AS SPECIFIED.
5. EXISTING PRE-FAB METAL AWNING TO BE CAREFULLY REMOVED AND DISCARDED. PATCH EXISTING WALL TO MATCH.
6. EXISTING STUCCO BAND TRIM TO BE PAINTED AS SPECIFIED.
7. EXISTING EXTERIOR LIGHT FIXTURE TO BE REMOVED (TYPICAL AT STUCCO BAND). CAP ELECTRICAL THIS AREA AS REQUIRED.
8. REPLACE EXISTING LIGHT FIXTURE THIS AREA WITH NEW AS SPECIFIED. TYPICAL FOR 2 EACH SIDE OF DOORS THIS ELEVATION.
9. EXISTING METAL COPING TO REMAIN. CLEAN AND PREPARE AS REQUIRED TO RECEIVE TWO (2) COATS OF PAINT AS SPECIFIED.
10. EXISTING STOREFRONT WINDOW SYSTEM (COLOR: CLEAR ANODIZED).
11. EXISTING STOREFRONT DOOR/ WINDOW SYSTEM TO REMAIN (COLOR: CLEAR ANODIZED). REFERENCE DOOR SCHEDULE FOR ADDITIONAL REQUIREMENTS.
12. EXISTING HOLLOW METAL REAR SERVICE DOOR. PREPARE EXTERIOR AS REQUIRED TO RECEIVE TWO (2) COATS OF PAINT PER COLOR AS SPECIFIED. REFERENCE DOOR SCHEDULE FOR ADDITIONAL REQUIREMENTS.
13. REMOVE EXISTING DRIVE-THRU/ STOREFRONT WINDOW SYSTEM AND INSTALL NEW DRIVE-THRU/ STOREFRONT WINDOW SYSTEM AS SHOWN TO MATCH EXISTING STOREFRONT FINISH COLOR (REFERENCE FLOOR PLAN FOR ADDITIONAL REQUIREMENTS).
14. NEW INTERNALLY ILLUMINATED SIGNAGE TO BE PERMITTED BY OWNER'S SIGN CONTRACTOR. SIGN CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF ALL SIGNAGE ON SITE FOR REVIEW/ APPROVAL BY LOCAL PERMITTING JURISDICTION. GENERAL CONTRACTOR SHALL REFERENCE APPROVED SIGNAGE DRAWINGS FOR SPECIFIC LOCATION AND PROVIDE REQUIRED SUPPORT AS SPECIFIED PER SIGN MANUFACTURER, INCLUDING RELOCATION OF EXISTING JUNCTION BOX/ INSTALLATION OF NEW FOR ELECTRICAL SERVICE AS REQUIRED (G.C. TO COORDINATE WITH SIGN VENDOR).
15. NEW METAL COPING.
16. PROPOSED AREA FOR NEW INTERNALLY ILLUMINATED SIGN WITH WHITE LETTERS WITH "PURPLE" BACKGROUND PROVIDED BY SIGN VENDOR. G.C. TO COORDINATE ELECTRICAL WITH SIGN VENDOR. REFERENCE KEYNOTE NO. 14 FOR SIGN VENDOR RESPONSIBILITIES.
17. EXISTING OR NEW WALL MOUNT EMERGENCY EXIT LIGHT FIXTURE. ENSURE IN PROPER WORKING ORDER (TYPICAL ABOVE ALL DOORS. REPLACE AND/OR INSTALL NEW WITH REQUIRED ELECTRICAL SERVICE AS REQUIRED).
18. EXISTING SECURITY SYSTEM. OWNER'S SECURITY SYSTEM VENDOR TO VERIFY ADDITIONAL SCOPES OF WORK ALL EXTERIOR WALL AREAS WITH OWNER.
19. REMOVE EXISTING LIGHT FIXTURE THIS AREA AND DISCARD. INSTALL NEW SECURITY LIGHT FIXTURE THIS AREA. PATCH WALL FINISH TO MATCH EXISTING AS REQUIRED TO RECEIVE NEW PAINT FINISH AS SPECIFIED.
20. NOT USED.
21. NEW VINYL FENCE ENCLOSURE WITH GATES FOR NEW BULK CO2 AND GREASE RECOVERY SYSTEM. VERIFY WITH OWNER'S PROJECT MANAGER FOR SPECIFIC SIZE REQUIREMENTS TO PROPERLY ENCLOSE/ ACCESS EQUIPMENT AS REQUIRED (REFERENCE FLOOR PLAN FOR BASE BID SIZE REQUIREMENTS). ENSURE MINIMUM 1'-6" CLEAR FROM OUTSIDE EDGE OF DOOR FRAME TO VINYL FENCE POST OR NEAREST FENCE ENCLOSURE ELEMENT TO DOOR. COLOR TO MATCH BUILDING BASE WALL FINISH COLOR AS BEST AS POSSIBLE PER APPROVAL OF OWNER'S PROJECT MANAGER. VERIFY PRIOR TO ORDERING OF MATERIALS.
22. EXISTING GUTTER/ DOWNSPOUT SYSTEM. ENSURE ALL INTACT PRIOR TO BID AND INCLUDE ANY REPAIRS/ REPLACEMENT NEEDED PRIOR TO BID. PREPARE EXISTING TO REMAIN TO RECEIVE TWO (2) COATS OF NEW PAINT AS SPECIFIED. IF TO BE REPLACED, PROVIDE PREFINISH COLOR TO MATCH NEW COLOR SPECIFIED.
23. EXISTING GAS METER. PREPARE GAS PIPING AS REQUIRED TO RECEIVE TWO (2) COATS OF PAINT TO MATCH ADJACENT WALL FINISH COLOR.
24. EXISTING PIPE GUARD. PREPARE AS REQUIRED TO RECEIVE NEW PAINT COLOR AS SPECIFIED. APPLY 3 INCH WIDE BAND OF REFLECTIVE RED TAPE (TOP OF TAPE TO BE 3 INCHES FROM TOP OF POST).
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28. EXISTING EXTERIOR WALK-IN BOX. CLEAN AND PREPARE EXISTING WALL PANELS, GUTTER/ DOWNSPOUT SYSTEM AND ANY ADDITIONAL UTILITY PIPING AT SIDES/ ON ROOF AS REQUIRED TO RECEIVE NEW PAINT FINISH AS SPECIFIED (VERIFY ALL COMPONENTS TO BE PAINTED PRIOR TO BID).
29. BACK WALL OF EXISTING HIGH PARAPET WALL BEYOND. APPLY TWO (2) COATS OF NEW PAINT FINISH TO MATCH PARAPET WALL COLOR AT FRONT SIDE.
30. ACM PANEL SYSTEM W/ HALO LIGHTING BY JIB VENDOR.
31. NEW WALL MOUNTED LIGHT FIXTURE WITH REQUIRED ELECTRICAL SERVICE. REFERENCE REFLECTED CEILING PLAN AND ELECTRICAL FOR ADDITIONAL REQUIREMENTS.
32. EXISTING THRU WALL SCUPPERS AT LOW END OF ROOF.

NO. DATE:

REVISION DESCRIPTION:

NO. DATE:

REVISION DESCRIPTION:

NO. DATE:

REVISION DESCRIPTION:

NO. DATE:

REVISION DESCRIPTION:

DKAM RUIZ CONSULTING, LLC
ARCHITECTURAL AND CONSULTING SERVICES
Baton Rouge, LA 70806

STATE OF GEORGIA
DAVID W. RUIZ
REGISTERED ARCHITECT

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PROJECT INFORMATION:

Jack
in the box

J6604
JACK IN THE BOX
CONVERSION
MK12CX_MD

1014 GRAY HIGHWAY
MACON, GA 31211

DEVELOPER/ PROJECT MANAGER:

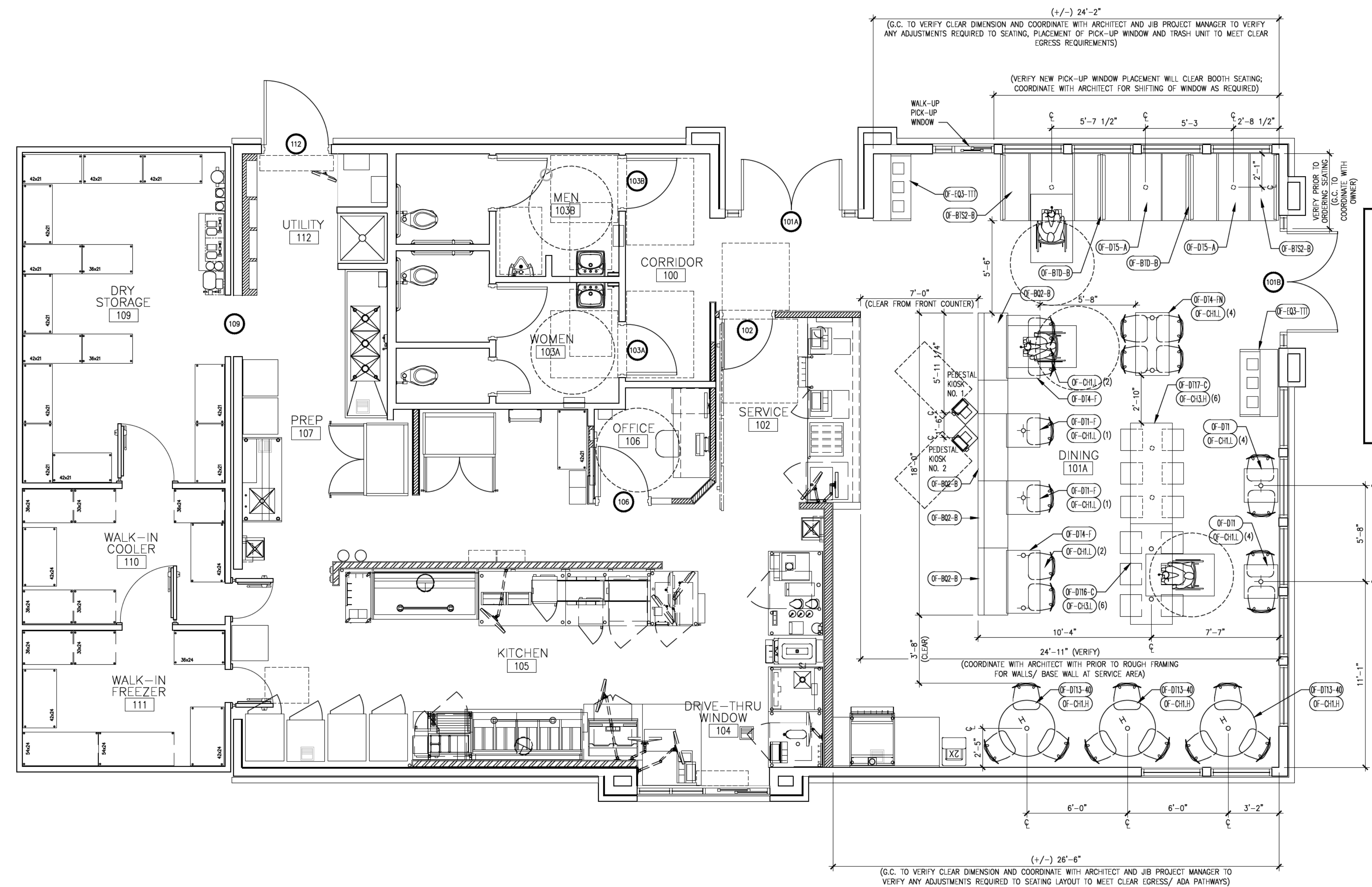
BRIAN PITTS
BLUE HORIZON CONSULTING LLC

PROJECT NO: 07-008-26
DATE: MARCH 30, 2026
CHECKED BY: DWR

EXTERIOR ELEVATIONS

SHEET NO.
A4.1

C:\DKAM Ruz Consulting, LLC\Project Folders\DKAM Projects\07 Jack in the Box\07-008-26 Hardware to JIB (Macon - GA)\02 Design\Working Drawings\Architectural\01.0 Furniture Plan.dwg - Monday, March 30, 2026 2:07:19 PM - BY: DAVID RUIZ



GENERAL NOTES

- A. ALL DIMENSIONS SHOWN ARE FROM FINISH WALL TO CENTERLINE OF SUPPORT POST/ EDGE OF FURNITURE. CENTERLINE OF SUPPORT POST TO CENTERLINE OF SUPPORT POST OR EDGE OF FURNITURE TO EDGE OF FURNITURE CLEAR DIMENSION AS NOTED. THIS LAYOUT REPRESENTS THE DESIGN INTENT FOR THE FURNITURE LAYOUT BUT IT SHALL BE THE RESPONSIBILITY OF THE G.C. FURNITURE EQUIPMENT VENDOR AND JIB CORPORATE PROJECT MANAGER TO VERIFY FINAL LAYOUT WITH OWNER AND ARCHITECT AND ENSURE ALL CODES (REQUIRED MINIMUM EGRESS WIDTHS) AND CORPORATE STANDARDS ARE MET.
- B. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, FURNITURE TYPES AND QUANTITIES WITH OWNER'S FURNITURE EQUIPMENT VENDOR/ VENDOR'S DRAWINGS PRIOR TO ANY CORE DRILLING/ INSTALLATION OF SEATING TABLES ETC. TO ENSURE PROPER PLACEMENT/ ACCESSIBILITY REQUIREMENTS. NOTIFY ARCHITECT OF ANY ISSUES WITH REQUIRED FLOOR CLEARANCE AT ENTRY DOORS ETC. PRIOR TO ANY INSTALL.
- C. FURNITURE EQUIPMENT VENDOR SHALL COORDINATE EXISTING FIELD DIMENSIONS WITH GENERAL CONTRACTOR IN THE FIELD TO ENSURE PROPOSED FURNITURE LAYOUT WILL WORK WITHIN EXISTING DINING AREA WHILE MAINTAINING REQUIRED EGRESS PATH AND ACCESSIBILITY CLEAR DIMENSIONS. FINAL LAYOUT/ EQUIPMENT TYPES SHALL BE THE RESPONSIBILITY OF THE FURNITURE EQUIPMENT VENDOR TO ENSURE ALL CODES ARE MET. EQUIPMENT WILL FIT AND COORDINATE WITH OWNER'S PROJECT MANAGER FOR ANY CHANGES IN EQUIPMENT TYPE ETC.
- D. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ASSEMBLY AND INSTALLATION OF ALL FRONT-OF-HOUSE BOOTHS SEATING AND TABLES.

PATRON SQUARE FOOTAGE = 931 S.F.
 (INCLUDES ALL FLOOR AREA WITH SEATING AND EQUIPMENT IN CUSTOMER SEATING AND SERVICE AREAS).

TABLES/ SEATING TABULATION:
 - 3 BOOTH TABLES WITH 4 SEATS EACH = 12 SEATS.
 - 1 QUAD TABLE WITH 4 SEATS = 4 SEATS.
 - 2 BENCH SEATING TABLES WITH 4 SEATS EACH = 8 SEATS.
 - 2 SMALL BEACH SEATING TABLES WITH 2 SEATS EACH = 4 SEATS.
 - 1 HIGH/ LOW COMMUNITY TABLE WITH 6 SEATS EACH = 12 SEATS.
 - 2 SMALL TABLES WITH 2 SEATS EACH = 4 SEATS.
 - 3 HIGH ROUND TABLES WITH 3 SEATS EACH = 9 SEATS.

TOTAL OF 15 TABLES WITH A TOTAL SEAT COUNT OF 53 SEATS.

FURNITURE PLAN
 SCALE: 1/4" = 1'-0"

NO.	DATE:
REVISION DESCRIPTION:	
NO.	DATE:
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NO.	DATE:
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NO.	DATE:
REVISION DESCRIPTION:	

DKAM RUIZ CONSULTING, LLC
 ARCHITECTURAL AND CONSULTING SERVICES

Baton Rouge, LA 70805



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PROJECT INFORMATION:

Jack
 in the box

J6604
 JACK IN THE BOX
 CONVERSION
 MK12CX_MD

1014 GRAY HIGHWAY
 MACON, GA 31211

DEVELOPER/PROJECT MANAGER:

BRIAN PITTS
 BLUE HORIZON CONSULTING LLC

PROJECT NO: 07-008-26

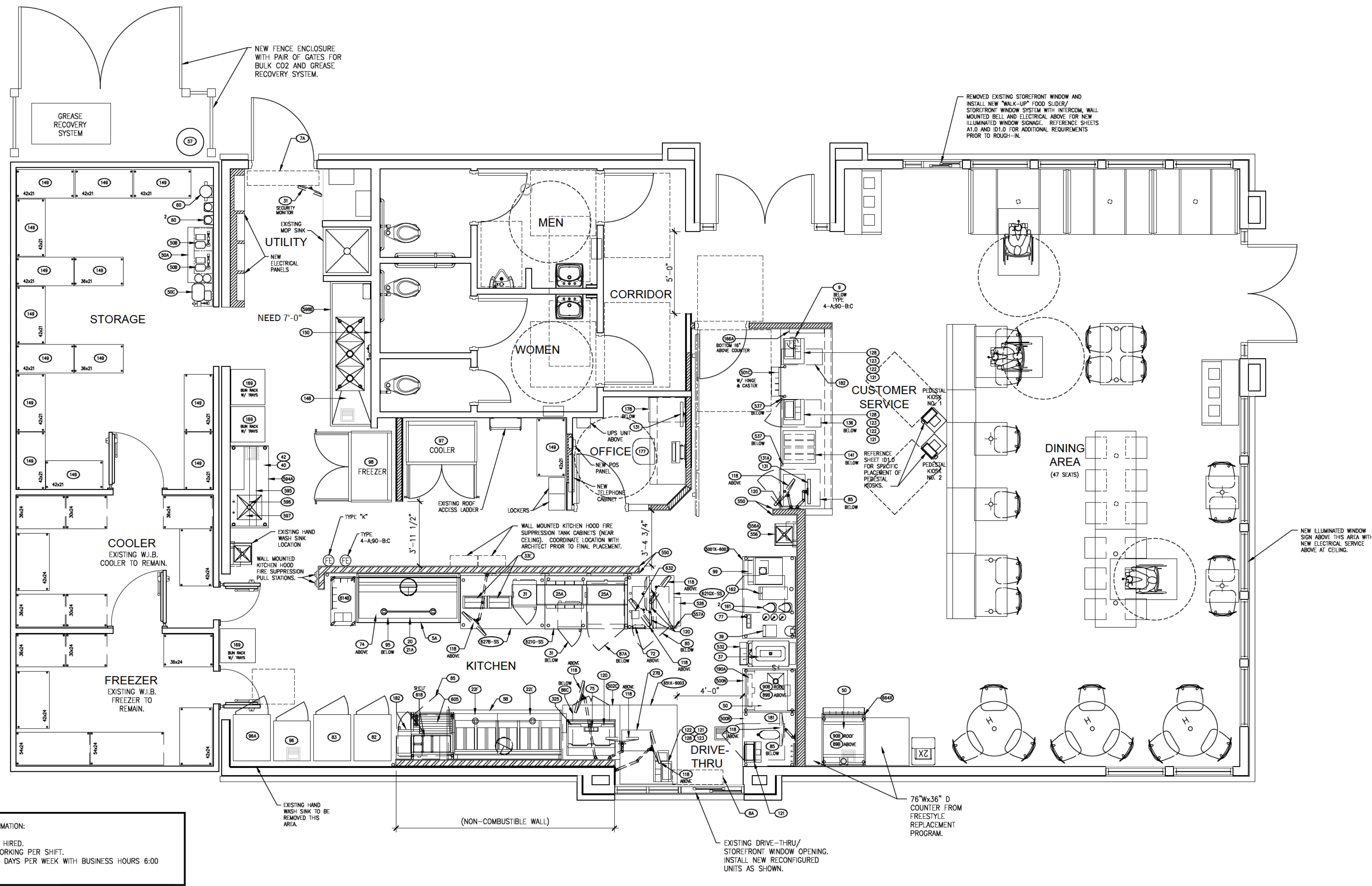
DATE: MARCH 30, 2026

CHECKED BY: DWR

FURNITURE PLAN

SHEET NO.
ID1.0

C:\DKAM_Ruiz_Consulting, LLC\Project_Folders\DKAM_Projects\07 Jack in the Box\07-008-26 Hardware to JIB (Maccon - GA)\02 Design\Working Drawings\Architectural\K1.0 Kitchen Equipment Plan.dwg - Monday, March 30, 2026 2:37:04 PM - BY: DAVID RUIZ



STAFFING/ OPERATIONAL HOURS INFORMATION:

- TOTAL OF 25 - 30 EMPLOYEES HIRED.
- TOTAL OF 6 - 8 EMPLOYEES WORKING PER SHFT.
- FACILITY TO OPERATE SEVEN (7) DAYS PER WEEK WITH BUSINESS HOURS 6:00 A.M. TO 2:00 A.M. DAILY.

1 KITCHEN EQUIPMENT PLAN
SCALE: 1/4" = 1'-0"

FURNITURE AND EQUIPMENT PLAN GENERAL NOTES FOR ALL CONTRACTORS/ VENDORS

- OWNER'S DECOR VENDOR (SEATING/ TABLES) SHALL VERIFY EXISTING CONDITIONS AT SITE WITH GENERAL CONTRACTOR UPON INSTALLATION OF ANY NEW HALF WALLS AND NEW WALL FINISHES TO ENSURE FINAL CLEAR DIMENSIONS AVAILABLE FOR INSTALLATION OF ALL FURNISHINGS.
- CONTRACTOR SHALL VERIFY WITH OWNER AND OWNER'S KITCHEN EQUIPMENT SUPPLIER FOR ALL KITCHEN EQUIPMENT ITEMS/ SPECIFICATIONS TO BE SUPPLIED AND COORDINATE WITH K-SHEETS THIS SET AND MEP DRAWINGS TO ENSURE NO CHANGES TO UTILITY REQUIREMENTS, ETC. AS NOTED PER THESE DOCUMENTS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE ALL UTILITIES SUPPLIED PER OWNER'S KITCHEN EQUIPMENT VENDOR'S EQUIPMENT PACKAGE. COORDINATE WITH ARCHITECT AND OWNER'S PROJECT MANAGER TO ENSURE ALL EQUIPMENT IS PROPERLY CONNECTED FOR PROPER OPERATION.
- KITCHEN EQUIPMENT VENDOR SHALL BE RESPONSIBLE FOR VERIFYING/ COORDINATING WITH GENERAL CONTRACTOR OR OWNER ACTUAL SIZE OF EXISTING WALK-IN BOX COOLER AND FREEZER COMPARTMENTS TO BE RE-USED IN ORDER TO ENSURE SHELVING UNIT SIZES WILL FIT PROPERLY WITHIN EXISTING W.I.B. WHILE PROVIDING PROPER EGRESS.
- FIRE EXTINGUISHERS SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS AND SHALL BE FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR. PRIOR TO INSTALLATION, THE GENERAL CONTRACTOR SHALL VERIFY QUANTITY AND LOCATIONS WITH THE LOCAL INSPECTOR/ FIRE DEPARTMENT.
- THE FIRE SUPPRESSION SYSTEM FOR THE KITCHEN HOODS SHALL BE INSTALLED BY THE GENERAL CONTRACTOR'S LICENSED INSTALLER. THE FIRE SUPPRESSION SUBCONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF PLANS, FEES, ETC. FOR ANY REQUIRED REVIEWS/ PERMITTING WITH THE LOCAL/ STATE PERMITTING JURISDICTIONS AS REQUIRED IN ORDER TO OBTAIN APPROVAL FOR INSTALLATION. FIRE SUPPRESSION SUB-CONTRACTOR SHALL COORDINATE WITH THE GENERAL CONTRACTOR FOR COMPLETE INSTALLATION OF KITCHEN HOOD SUPPRESSION SYSTEM AND FINAL INSPECTION.
- ALL FLOOR DRAINS AND FLOOR SINKS TO REMAIN UNLESS NOTED AS OTHERWISE. NEW FLOOR SINKS ARE DESIGNATED AS NEW. REFERENCE DEMO PLAN AND PLUMBING DRAWINGS FOR ADDITIONAL REQUIREMENTS AND COORDINATE WITH KITCHEN EQUIPMENT AND OWNER'S PROJECT MANAGER IN THE FIELD TO DETERMINE ANY ADJUSTMENTS NEEDED PRIOR TO ANY DEMOLITION. ALL EXISTING FLOOR DRAIN AND FLOOR SINKS TO RECEIVE NEW GRATE COVERS AS SPECIFIED (RE: PLUMBING DRAWINGS).
- FIRE EXTINGUISHERS: G.C. TO PROVIDE/ INSTALL FIRE EXTINGUISHERS WITH WALL MOUNT BRACKETS (ENSURE REQUIRED BLOCKING FOR WALL MOUNTED UNITS). TOP OF UNIT SHALL BE 48" A.F.F. OR AS REQUIRED PER LOCAL FIRE DEPARTMENT/ FIRE MARSHAL. PRIOR TO INSTALL, G.C. TO VERIFY WITH LOCAL FIRE INSPECTION AGENCY PREFERRED LOCATIONS FOR ALL UNITS AND MOUNT/ PLACE ACCORDINGLY. THE TYPE "C" FIRE EXTINGUISHER SHALL HAVE A PLACARD INSTALLED ABOVE THIS UNIT PER NFPA.

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DKAM RUIZ CONSULTING, LLC
ARCHITECTURAL AND CONSULTING SERVICES
Baton Rouge, LA 70805



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PROJECT INFORMATION:



J6604
JACK IN THE BOX
CONVERSION
MK12CX_MD

1014 GRAY HIGHWAY
MACON, GA 31211

DEVELOPER/ PROJECT MANAGER:

BRIAN PITTS
BLUE HORIZON CONSULTING LLC

PROJECT NO: 07-008-26

DATE: MARCH 30, 2026

CHECKED BY: DWR

KITCHEN EQUIPMENT PLAN

SHEET NO.
K1.0

Questions and Answers

1 Is this property on septic tank or public sewer?

Public Sewer

2 Is this new construction?

Yes

No

3 Is the proposed use a church or restaurant?

Restaurant

Data Fields

Setbacks

1 Setbacks - Front

2 Setbacks - Right Side

3 Setbacks - Left Side

4 Setbacks - Rear

Commercial, Industrial, or Institutional Information

1 Have you received Department of Agriculture approval?

No

2 Have you received Department of Macon Water Authority approval?

No

3 Have you received Department of Health Department approval?

No

MBPZ Review

1 Predevelopment

2 Conditions of Approval

3 Variances

4 Agenda Date

5 Use Type

Application Information

1 Applicant Signature

David W. Ruiz (Architect - Agent of Owner)

2 Describe your project/ proposal

We are taking an existing Hardee's Restaurant and converting it into a new Jack in the Box Restaurant. The scope of work on the exterior shall include updates to the exterior of the structure to make in meet new Jack in the Box Corporate design standards for this restaurant. Existing canopies over the drive thru and main entry/ exit doors to remain but will be repainted. Existing awnings to be removed and replaced with new JIB image canopies. All exterior stucco and brick material to remain but will be repainted per new JIB image colors. Existing drive-thru to be reused as well. New sidewalks to be added and new trash enclosure to be installed to replaced damage enclosure. Will reseal asphalt paving to look like new and restripe. This new establishment will have 42 parking spaces which includes two (2) accessible parking spaces. Interior scope of work will included new kitchen equipment and attempt to maintain as much of existing walls as possible. New finishes will be installed throughout on floors, wall and ceilings in the public areas. The kitchen will receive new wall and ceiling finishes and existing floor to remain intact. Existing exterior walk in box to remain as well. The patron square footage area that includes the dining and customer service areas is a total of 931 s.f. that includes seating, tables and self service equipment in these areas. There are a total of 15 tables in the dining area for a total seating count of 53 seats. As for staff, there will be a total of 25 - 30 employees hired with only 6 - 8 working per shift. This new restaurant will operate seven (7) days per week with business hours 6:00 a.m. to 2:00 a.m. daily.

3 Business Applicant's Name

Macon Vortex PropCo LLC

4 Applicant Email

[REDACTED]

5 Applicant Address

3300 Northside Parkway NW, Atlanta, GA 30327

6 Owner Phone Number

[REDACTED]

7 Owner Address

3300 Northside Parkway NW, Atlanta, GA 30327

8 Owner Name

Macon Vortex PropCo LLC

9 Will there be a face change on any existing sign?

Yes

10 Has the signage change already occurred?

No

11 Will signage be added or changed on this property?

Yes

12 Business Name

Jack in the Box

13 Church or Restaurant

Restaurant

14 Number of Seats for Customers

53.0

15 Number of off-street parking spaces provided

42.0

16 Is this new construction?

No

17 Interior or Exterior?

Both Interior and Exterior

18 Existing Structure

Yes

19 Public Sewer or Septic Tank

Public Sewer

20 Applicant's Daytime Phone Number

██████████

21 Name of Owner or Property Manager

22 Has this face change on existing signs already occurred?

No

Ungrouped

1 Zoning District

C-4



RE: J6604 Hardees to Jack in the Box Conversion (1014 Gray Highway, Macon, GA 31211)

From [REDACTED]
Date Mon 3/30/2026 5:12 PM
To [REDACTED]

[WARNING - EXTERNAL EMAIL] This email originated from outside Macon-Bibb Planning and Zoning. Do NOT click links or open attachments from this email unless you know the sender and trust the content. If you suspect this email to be a phishing attempt, please forward this email to MBIT-Admin@mbpz.org.

Will,

I just go all uploaded again to the system and made payment. Let me know if you need anything else.

Thanks again!

David Ruiz
Architect, NCARB

DKAM RUIZ CONSULTING, LLC
Architectural and Consulting Services
Phone [REDACTED]

Baton Rouge, LA

[REDACTED]

From: [REDACTED]
Sent: Monday, March 30, 2026 9:31 AM
To: [REDACTED]
Subject: RE: J6604 Hardees to Jack in the Box Conversion (1014 Gray Highway, Macon, GA 31211)

Will,

Thanks for the quick reply on all. I will have all uploaded this afternoon into the system.

Thanks again!

David Ruiz
Architect, NCARB

DKAM RUIZ CONSULTING, LLC

Architectural and Consulting Services

Baton Rouge, LA

From: [REDACTED]
Sent: Monday, March 30, 2026 9:28 AM
To: [REDACTED]
Subject: Re: J6604 Hardees to Jack in the Box Conversion (1014 Gray Highway, Macon, GA 31211)

[CAUTION] This email originated from inside Macon-Bibb Planning and Zoning. Do **NOT** click on links or open attachments unless you are expecting and know the content is safe.

Hi David,

Thank you for the follow up. We are not allowed to open email attachments, so please upload these directly to the application. It would still be nice to see the proposed signage on the elevation plans for our understanding (with the exception of the signage on the drive thru side that I said needed to go) but will make sure to note in our staff report that these will go through a separate application. It would be good to see the "patron SF" marked on the plans but including it in the application would be the priority for us. Total number of seats and tables would be very helpful and can just be noted in the description. Thank you for confirming the other requested information.

Once you have these uploaded in the application, we can go ahead and request our fee (\$975) and prepare this for inclusion on the May 11 agenda. Thank you and let me know if you have any other questions. Have a great Monday!

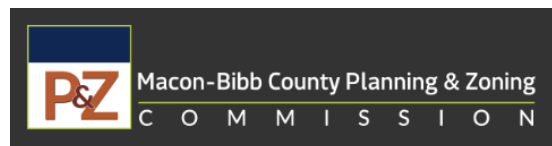
Best,

Will Finkelstein

Current Planner I
Macon-Bibb Planning and Zoning Commission

[REDACTED]

[REDACTED]



From: [REDACTED]
Sent: Monday, March 30, 2026 10:05 AM
To: [REDACTED]
Subject: J6604 Hardees to Jack in the Box Conversion (1014 Gray Highway, Macon, GA 31211)

[WARNING - EXTERNAL EMAIL] This email originated from outside Macon-Bibb Planning and Zoning. Do NOT click links or open attachments from this email unless you know the sender and trust the content. If you suspect this email to be a phishing attempt, please forward this email to [REDACTED]

Will,

I did receive your email thru Clariti this past Friday and it was nice speaking to you so thanks again for the follow up with me on this project. I want to go ahead and have the Owner's sign vendor submit for the attached/ detached building signage separately being I will not have their signage details, renderings and other related shop drawings you may need for a complete review of the signage. That being noted, can you please verify the following before I resubmit with the additional information you require prior to this coming Wednesday deadline:

1. I removed all exterior wall mounted signage to my exterior elevations but kept all else showing on the front wall elevation and the main entry side elevation at both existing entry towers. Can I still show the signage on my elevations for now for my submittal or do I need to remove all signage. I do have a note on my elevation sheets basically noting these are preliminary in nature and shall be permitted separately for approval. I have attached one of my elevation sheets for quick reference. Please advise as to your preference.
2. I verified with my client (Owner/ Operator) on the other information you required (Will be at total of 25 – 30 employees hired with only 6 – 8 working per shift; Facility to operate seven (7) days per week with business hours 6:00 a.m. to 2:00 a.m. daily. As for "Patron S.F., do you want this noted in the description as well plus the seating plan drawings (Sheet ID1.0) or just in the description? You also noted to indicated in the overall description of the project the total number of parking spaces on site and number of tables. Do you want total number of seats (dining capacity) or just table quantities? I can break it down in description by noting tables and how many seats each, etc.

Please advise on all at your earliest convenience being I would like to try to sent to you this afternoon at the latest.

Thanks again for your help with all.

David Ruiz

Architect, NCARB

DKAM RUIZ CONSULTING, LLC

Architectural and Consulting Services

Phone [REDACTED]

Baton Rouge, LA

[REDACTED]

PRE-DEVELOPMENT ZC-2026-363 1014 GRAY HWY JACK IN THE BOX-20260226_103022-Meeting Recording

February 26, 2026, 3:30PM

28m 59s

● **Randi Doveton** started transcription

RD **Randi Doveton** 0:03

I am the Assistant Executive Director for Macon Bibb County Planning and Zoning Todd.

TH **Todd Hendricks** 0:14

dot Henders for Building and Fire Safety and I'm all of us. I have the Deputy Director of Fire Prevention, Lieutenant Robert.

RD **Randi Doveton** 0:25

Uh, Miss Denmark Smith.

BD **Briana Denmark-Smith** 0:27

Brianna Denmark Smith, Environmental Health.

RD **Randi Doveton** 0:32

Ahmed.

AA **Ahmed Aljaf** 0:36

Good morning. This is Pheedra Brown and Mr. Ahmed Aljack. We are making Water Authority Engineering Department.

RD **Randi Doveton** 0:44

Thank you, Hart.

HE **Hart Eidelman** 0:47

Good morning, Hart Adelman, Macon Bibb Planning and Zoning.

RD **Randi Doveton** 0:52
8.

BK **Braswell, Keith** 0:54
Chief Braswell, Macon Bibb Engineer's office.

RD **Randi Doveton** 0:58
Michael.

MG **Michael Greenwald** 1:00
Like Greenwald also would make making big county planning and zoning.

RD **Randi Doveton** 1:05
Trevo?

VT **Vo, Tri** 1:06
Good morning, this is Treevo with Making Web Traffic Engineering.

RD **Randi Doveton** 1:12
Tree, you're very low. Couldn't understand you, really.

VT **Vo, Tri** 1:17
Oh, OK, it's a tree bowl with.

RD **Randi Doveton** 1:23
Jamie.

PJ **Phillips, Jamie** 1:26
Jamie Phillips, Georgia Department of Transportation with Traffic Operations.

RD **Randi Doveton** 1:31
Trisha.



Trisha Kawa 1:33

Good morning, Trisha Kawa, current planner from Weekend Planning and Soil.



Randi Doveton 1:39

Jeff.

Jeff, sorry about that.



Jeff Ruggieri 1:53

I was on mute. I was talking the whole time. Good morning, everybody. Jeffrey Jerry, Executive Director of Macon Bent Planning and Zoning.



Randi Doveton 2:03

Eric, I'm going to share my screen now and let you tell us about your project, introduce anyone on your team that is with you, and then we'll take turns with each of the departments providing feedback.



Erik Houston 2:17

OK. And I'll do exactly that in just a second. Just so I'm clear, will you be providing a summary of the notes of this meeting as well from each department?



Randi Doveton 2:28

I will. What I'll be providing is a transcript from the meeting, OK, as well as a contact sheet that's already been uploaded to clarify with the contact information for each of the departments represented.



Erik Houston 2:34

OK, excellent.

OK, excellent. So thank you all for your time today. Essentially, yes, that that is an existing.

Building a QSR building that was lastly functioning as a Hardee's. Our clients are interested basically in purchasing the the lot and converting that existing Hardee's building into a jack-in-the-box restaurant.

RD **Randi Doveton** 3:02

Mm.

JR **Jeff Ruggieri** 3:11

OK.

EH **Erik Houston** 3:14

That is essentially their their intent here to change the elevations, you know obviously to to to be brand compliant signage changing some of the items related to.

You know some of the drive-thru elements that are that are you know specific to the jack-in-the-box brand and that is essentially it. Their their goal is not to touch the site in any way apart from a a couple areas where they've identified some.

Some areas of, you know, some minor, minor asphalt repair where there's a little bit of cracking or a little bit of alligating. But aside from that, they were not really looking into doing anything with the site, taking the building as is, you know, updating the interior portions of their items.

Their kitchen needs. We said there's a difference between them and the previous building, I guess tenant if you will. But apart from that they're they're trying to keep the scope as minimal as possible. It is our understanding because there's a change of ownership and a change of brand.

That we would have to go to you know as as part to to go get a new kind of conditional use review and I just wanted to get a little bit of feedback and details on that, but that that is the the overall.

JR **Jeff Ruggieri** 4:34

Hmm.

EH **Erik Houston** 4:43

I guess scope of what what the intent here is on this occasion.

JR **Jeff Ruggieri** 4:47

All right, question real quick. Um, how long has this already been closed?

RD **Randi Doveton** 4:47
OK.

EH **Erik Houston** 4:53
I I do not know.

RD **Randi Doveton** 4:55
That was going to be my next question as well. Let's see real quick.

JR **Jeff Ruggieri** 4:55
OK, right. Um, what's the zone now?
What's the zoning?

EH **Erik Houston** 5:05
I believe it.

RD **Randi Doveton** 5:06
Sir.

JR **Jeff Ruggieri** 5:06
What's the?

MG **Michael Greenwald** 5:08
It's C4 I believe.

JR **Jeff Ruggieri** 5:08
That's.

RD **Randi Doveton** 5:10
Yeah.

JR **Jeff Ruggieri** 5:10
C4 is a is a restaurant. I see you in C4.

RD **Randi Doveton** 5:18

So a drive through is in almost every district restaurant would drive through. So that's the thing. Let's see.

JR **Jeff Ruggieri** 5:23

Yeah, I I.

Drive through our already there adding a drive through.

RD **Randi Doveton** 5:29

Yeah.

Wanted to see what the what this shows as far as their last.

Show September 19. Unfortunately this is not one that has additional dates for review. So in 2019 it was still there.

JR **Jeff Ruggieri** 5:54

Mhm.

RD **Randi Doveton** 5:56

The environmental health could probably tell us the last time they had a food service.

JR **Jeff Ruggieri** 6:03

Right.

BD **Briana Denmark-Smith** 6:03

So the in our system it shows a business close of 2023.

RD **Randi Doveton** 6:10

So it's.

JR **Jeff Ruggieri** 6:10

2023 Oh man, it's kinda.

RD **Randi Doveton** 6:12

It's been three years, yeah. So yeah, it would go back.

JR **Jeff Ruggieri** 6:15

Alright, uh.

But is it? But is is the use a conditional use?

RD **Randi Doveton** 6:21

Let's see. Pretty sure it is. Almost there, almost there.

JR **Jeff Ruggieri** 6:25

Could be.

RD **Randi Doveton** 6:28

Replace it as the drop through is. Yeah, it triggers it.

JR **Jeff Ruggieri** 6:30

Yeah, there actually always are, but I'm just asking.

I'm just trying to figure out a way not to.

RD **Randi Doveton** 6:35

OK.

To not do it, yeah.

MG **Michael Greenwald** 6:49

Drive in drive in restaurant is a conditional use in AC4.

RD **Randi Doveton** 6:54

Well, there's another there's something else in there that says drive-throughs, so drive in restaurant, but then there's a little section that says drive-throughs to somewhere, so.

MG **Michael Greenwald** 6:58

And yes.

JR **Jeff Ruggieri** 6:59

Right.

Uh.

MG **Michael Greenwald** 7:06

Which is all, yeah, accessory use.

JR **Jeff Ruggieri** 7:10

Right. OK, so the use was abandoned and it's a seat. That's.
What I'm hearing.

RD **Randi Doveton** 7:19

That's the way we have worked at it. They.

JR **Jeff Ruggieri** 7:22

Right, unfortunately.

RD **Randi Doveton** 7:26

Unfortunately, it would.

I mean adapting it to something else, considering what it is, is.

But they can on.

Done.

But no other changes or you're not doing anything to the site itself other than.

Repair paint, maybe resurface or something like that.

EH **Erik Houston** 7:55

They, like I said, they we've spoken with the construction manager and they they've identified just a couple areas where there's some busted up pavement that they do want to fix for for those obvious reasons, but my understanding is apart.

From, you know, the signage, the elevations, obviously anything related to the interior in their kitchen, you know, changing the menu board, changing, you know, the drive-thru elements of drive-thru with an arrow, that type of thing.

It it is my understanding it at at present their entire intent is just to do that scope and really nothing else on the site.

JR **Jeff Ruggieri** 8:37

All right. Well, like it's just a conditional use. It'll be something that probably goes on and will be.

EH **Erik Houston** 8:38
OK.

RD **Randi Doveton** 8:43
Mhm.

EH **Erik Houston** 8:45
So so I'm clear, the conditional use is specific to the, I guess the rights to be a restaurant with a drive through or is it just because of the drive through?

RD **Randi Doveton** 8:45
Yeah.
Correct.

JR **Jeff Ruggieri** 8:57
Yeah, it's right now. Yeah, yeah. I mean, we can pull up 4B the chart, but any drive-thru in Macon Bibb County requires a conditional use and the fact that it's been abandoned for three years, you've lost your your vested use that you had there. So it's like starting over.
Your zoning district is C4, which requires A conditional use. I'm not sure. Does a is a restaurant an allowed use if it without a drive-thru in C4, Randy.

RD **Randi Doveton** 9:28
Yes, let me get back over to my chart.

MG **Michael Greenwald** 9:34
I've got drive-in restaurant as a conditional.

RD **Randi Doveton** 9:38
Without that, without that, just a regular restaurant.

JR **Jeff Ruggieri** 9:41

Yeah.

MG **Michael Greenwald** 9:42

Restaurant without alcohol is limited use.

RD **Randi Doveton** 9:54

Mhm.

OK.

OK.

JR **Jeff Ruggieri** 10:03

OK.

So.

EH **Erik Houston** 10:06

So just out of curiosity, the threshold because we we we talked about the business having closed in 2023, what would have been the threshold would have been immediate changeover or it was 2 years?

RD **Randi Doveton** 10:17

It's two years.

JR **Jeff Ruggieri** 10:17

Right.

Yes, yeah.

EH **Erik Houston** 10:22

Two years, OK.

Yeah.

RD **Randi Doveton** 10:33

Phedra, Ahmed, I'm gonna let you go from a water authority perspective of what you're looking at. Then we'll go with health and and each of us will take turns.

AA Ahmed Aljaf 10:48

OK, hi, the outside work, will there be any demolition?
And like what? How much would be disturbed I guess is the main question.

MG Michael Greenwald 10:59

Yeah.

EH Erik Houston 11:03

Again, I don't. I don't think a whole bunch. I think, like I said, there's a few pavement patch areas, a few.

You know, replace pavement where there's some some alligating, but other than that I don't think that they were trying to do anything.

AA Ahmed Aljaf 11:21

OK. We need to know the exact, OK, so we would need an exact number just to be sure that it's less than the 5000. If it's over that, then we have to do the permit also the backflow.

EH Erik Houston 11:31

Right.

So just so I'm clear, so less than per the stormwater management manual, less than 5000 square feet of disturbance, we would not need any type of additional LDP.

AA Ahmed Aljaf 11:43

Yes.

Great.

EH Erik Houston 11:48

OK.

AA Ahmed Aljaf 11:48

Also the back flow device that would need to be updated and recertified if there's one already there the existing.

EH Erik Houston 12:02

OK, so that certification, if there is a, if there is one already there, but obviously the building's been closed for three years, so I'm presuming you need a new certification.

AA Ahmed Aljaf 12:07

It's not giving.

JR Jeff Ruggieri 12:13

OK.

AA Ahmed Aljaf 12:13

Correct. And we have also uploaded a list of backflow testers that you could contact. They are certified and that is also in clarity.

EH Erik Houston 12:25

Thank you.

AA Ahmed Aljaf 12:26

There is an existing grease trap, 1500 gallon grease trap that would also need to be inspected by our inspector. We have also already uploaded his contact information. His name's David Fleming.

We don't have any record of it being inspected, so that would also be required.

EH Erik Houston 12:47

3.

AA Ahmed Aljaf 12:49

There will still be a plan review required, so we will also need copies of that plumbing plan, the number of sinks and compartment.

Um.

What else am I doing is that that's his. I think that's that's all we have.

EH Erik Houston 13:12

OK. I I guess just then the the process of once there's new ownership to essentially just convert the account, is that through your department as well?

RD **Randi Doveton** 13:12
Mhm.

AA **Ahmed Aljaf** 13:23
Yes.

JR **Jeff Ruggieri** 13:28
2.

RD **Randi Doveton** 13:35
Brianna.

BD **Briana Denmark-Smith** 13:38
So from environmental health standpoint, only thing we would need is the the scale plans and the application at least I would say as soon as possible because we take at least 14 days to process everything before you can begin demolition.
Well, construction in this case, remodeling.

EH **Erik Houston** 14:04
OK. And then just the standard application, we've got the the food service permit requirement, the food service water heater certification and the I guess U.S. citizen residency form, is that what we're looking for?
4.

BD **Briana Denmark-Smith** 14:24
Yes, that the menu, the plans and then all of the finer things, it'll detail that in the application.

EH **Erik Houston** 14:36
Excellent.
Mm.
And and you will be conducting an inspection prior to the issuance of CO.

BD Briana Denmark-Smith 14:45

Yes.

EH Erik Houston 14:46

Good.

RD Randi Doveton 14:49

Todd.

TH Todd Hendricks 14:53

You need a demo permit, building permit. If you're going to change out that kitchen hood, that requires a separate set of plans and permit for that and the ample system. Make sure your ample system is up to date and tagged if you're going to use the existing one and the hood is up to date.

EH Erik Houston 15:13

Todd, you're with the fire department. I'm sorry.

TH Todd Hendricks 15:17

I'm with building empires.

EH Erik Houston 15:19

Building and fire. OK, so we need a demo permit. We will need a building permit. Is this a traditional full building permit or is this going to be a a tenant improvement permit? Because obviously that they're.

TH Todd Hendricks 15:22

Yeah.

EH Erik Houston 15:36

Or a full building permit.

TH Todd Hendricks 15:36

Yeah.

I don't know how much work you're doing. I mean, I would submit a floor plan and and with any changes that you're going to make.

EH **Erik Houston** 15:47

OK, so demo permit, building permit, any revision to the hoods or Ansel system? And that's a sub permit after the building permit is pulled.

TH **Todd Hendricks** 16:03

That's correct. It's a separate permit.

EH **Erik Houston** 16:05

But I can't apply for it simultaneously, right? I have to pull the building permit 1st and then make that application.

TH **Todd Hendricks** 16:13

No, you can apply for all at the same time. It just separate plane reviews the permit.

EH **Erik Houston** 16:17

Understood. OK. Thank you, Sir.

RD **Randi Doveton** 16:23

From a zoning perspective, you know it's a conditional use because.

You're past that threshold. The only thing that really concerned me when I was looking is to verify needing to see exactly about your signage, your dimensions of all your signage. You're showing the signs, the.

Changeable poster signs.

From a it's a separate application for your signage from your actual use, the conditional use. Once the Commission approves, we would get departmental approvals. We would once we get all the departmental approvals, we issue your zoning compliance.

The applicants can then use that for getting any building permits and getting their business license, etcetera. However, before any signage is installed, a separate sign permit would be would be required and for that sign permit we would need to know all the dimensions of those proposed.

EH Erik Houston 17:24
May.

RD Randi Doveton 17:25
Signs and a site plan showing the location of any new pylon or freestanding, or if it's going to be a chain of face. And then the same for your drive-thru, your menu boards, pre-menu boards, things like that.

MG Michael Greenwald 17:26
Well.

EH Erik Houston 17:33
Sugar.

RD Randi Doveton 17:41
The regulations for signage are found in Chapter 25 of our regulations. So if you, you know, have questions or the sign company has questions while they're trying to prepare those, we would be glad to.
Like to address our questions and answer them to the best of our abilities.

EH Erik Houston 18:01
OK. So the the one part that I I may have missed or may just need a little bit clarity on. So I understand that there's a separate signage permit, but as part of the conditional use review which would be for the drive through lane you also would like to see.
The building signage or just the signage for the drive thru elements?

RD Randi Doveton 18:21
We don't really have to address it at all during the conditional use. I'm just telling you that from a zoning perspective, the conditional use is really you're not really changing the proposed use is you just miss the.

EH Erik Houston 18:25
OK.

RD **Randi Doveton** 18:37

It's a check the box thing because you missed the the the time frame there for it to just roll seamlessly. The only thing that could cause some some heartache for us and I'd say do it before the conditional use deadline is.

EH **Erik Houston** 18:41

Right, right. OK.

RD **Randi Doveton** 18:56

Send us all the information or submit the application for signage simultaneously so we can review it. Because if you need a variance and signage for anything, you would need to apply. They're not real big on sign variances, so I I would try to stay within those guidelines.

EH **Erik Houston** 19:02

OK, that that was my OK.

MG **Michael Greenwald** 19:12

Yeah.

RD **Randi Doveton** 19:16

Lines of what's allowed within the 25, Chapter 25, because truthfully there are very seldom any times that you can meet the goal factors for a variance for signage other than you just want more and.

That's not a defensible or justifiable reason to grant it.

EH **Erik Houston** 19:38

OK.

JR **Jeff Ruggieri** 19:39

Yeah. And there's specific rules for drive-thru signage. So those are in Chapter 23, I believe.

RD **Randi Doveton** 19:46

Um.

25.

JR **Jeff Ruggieri** 19:50

For the drive through.

RD **Randi Doveton** 19:53

Like they're all in, they might be in the money free as well, so.

JR **Jeff Ruggieri** 19:55

We'll give you a those just to make sure that you still comply with those and then we'll be good to go.

RD **Randi Doveton** 19:58

Yeah.

Yeah.

JR **Jeff Ruggieri** 20:04

They're not onerous at all. They're just.

RD **Randi Doveton** 20:07

This the really and truly, this didn't cause the zoning staff any heartburn on anything that we saw.

JR **Jeff Ruggieri** 20:09

just pointed out.

RD **Randi Doveton** 20:18

Jamie, did you have any questions or comments for anything since this is a state highway?

PJ **Phillips, Jamie** 20:24

It looks like the entrance up there is a pre-existing entrance. It's going to serve the same thing as a QSR. Any modification, any change within the right of way, we would ask that a permit be obtained from us.

If nothing's going to be changed in the right away, I'd just like a courtesy copy of your plans and we'll look at it then.

EH **Erik Houston** 20:51

OK. But you wouldn't expect anything in terms of any type of permit. Obviously there's no utility tax being made, there's.

No of.

Change of access, change of use here, but it's only from AQSR to AQSR. So other than then you wouldn't expect any other.

PJ **Phillips, Jamie** 21:16

Correct.

EH **Erik Houston** 21:17

Gass or Gus submittal?

PJ **Phillips, Jamie** 21:18

Correct. That's what I said. I wouldn't expect anything. That's what I said. I would just like a courtesy copy just to verify. And like I said, if no changes are made within the right of way, you would not be required to get a permit on the access side if there is any utility work that has to be reworked or any permit has to be obtained.

That that utility owner, they would also they would go through the gulp side for the utility side or it's not gulps anymore, he passed, but they would go through that system for their utility permit.

EH **Erik Houston** 21:56

Hmm.

Excellent. Thank you, Sir.

22:00

Trevo or Keith?

VT **Vo, Tri** 22:03

The trap engineering has no reason.

PJ Phillips, Jamie 22:03
Hey.

BK Braswell, Keith 22:08
Yeah, thank you, Randy. We are, we're fine on this. We we we wouldn't have any issues along similar to to Jamie on the back of Clinton Rd. unless you make some modifications in the right away.

VT Vo, Tri 22:08
OK.

EH Erik Houston 22:24
OK.

RD Randi Doveton 22:25
I.
Eric, do you have any other questions for anyone else?

EH Erik Houston 22:33
I I don't specifically have anything related to the site engineering. I guess my couple of questions that I do have would be the conditional use and the submittal for what would be essentially the building permit package, which I'm going to say is. The demo, the building permit and for the purposes of this we'll say the the fire Ansel permit as well. Can those run concurrently or would I have to basically get the conditional use prior to making that application?

RD Randi Doveton 23:08
My knowledge is that they can run concurrently. They won't issue your building permit or your demo permit or anything without either your zoning.

EH Erik Houston 23:12
OK.

RD Randi Doveton 23:19

For place from us, but it's my understanding that they will review your plans. Is that correct, Todd?

EH Erik Houston 23:23
Wait.

TH Todd Hendricks 23:29
That's correct.

EH Erik Houston 23:31
So, so all of those, sorry, the the one that I left out of that list was the signage. All of those can run concurrently.

RD Randi Doveton 23:41
Yes, we just can't issue your sign permits if if everything is is up and don't need any revisions or anything else. We just couldn't issue it until we issue the the use, but we would issue them simultaneously if we had everything.

EH Erik Houston 23:51
Right.
OK, so just in general, everything will get submitted. We'll get a conditional use in the conditional use that goes to a board.

RD Randi Doveton 24:07
It goes to our Planning Commission. Unlike most places, our Planning Commission is not a recommending body. They are the final authority. So at that meeting you would either be approved, denied or deferred either because they needed additional information or because you requested it for some reason.

EH Erik Houston 24:16
OK.
Certainly.

RD Randi Doveton 24:29
Um, our next.

Agenda that's available is April 13th. That deadline is 12 noon on March 4th. I've uploaded the contact sheet. I have not uploaded this. This is on our website.

EH Erik Houston 24:48
OK.

RD Randi Doveton 24:48
At www.mbpz.org.
It is the 2026 agenda schedule.

EH Erik Houston 24:57
Right.

RD Randi Doveton 24:59
But essentially every two weeks is another deadline. Unless there's some reason with a holiday, deadlines are always on Wednesday and they are always cut off at 12 noon. So March 4 is April 13th's agenda, March 18 is.

EH Erik Houston 25:03
Sure.
Understood.

RD Randi Doveton 25:18
Or April 27, April one will put you on May 11 and so forth and so on. So we the Zoning Commission meets on the 2nd and 4th Monday of each month.

EH Erik Houston 25:35
OK, excellent. And then obviously they give their approval. We get the conditional use. You're simultaneously reviewing the the plans for the elevations. That gives me the zoning compliance, which is a prerequisite for.
The building approval and then similarly the building approval would be a prerequisite for the signage. The one piece that I I'm trying to work out because the separate submittal now is the health so.

RD **Randi Doveton** 26:06

OK, Eric, one quick correction.

EH **Erik Houston** 26:07

Well, yes, ma'am.

RD **Randi Doveton** 26:11

Prerequisite for your sign permit is not your building permit. It's just us issuing the zoning compliance.

EH **Erik Houston** 26:15

It is not.

Just the zoning compliance. OK, excellent.

All right. And then in order to pull the building permit, would I need to have the health apartment approval already in hand?

RD **Randi Doveton** 26:31

Not from Zoning's perspective, Todd. If they need any permits from you for attaching things to the buildings, any electrical for freestandings, do they have to have help before they can submit?

TH **Todd Hendricks** 26:44

No.

EH **Erik Houston** 26:48

OK, So what I'm hearing here, I could have, I could have my demo permit already pulled in theory start demolishing, you know, whatever I need to base that was on the scope of that permit and then the health department review could still be going on.

RD **Randi Doveton** 26:50

We have to have help before we.

That is up to health department because we won't issue your zoning compliance

until we have a sign off in our system from health. It may be that if they've already got your plans and they're in the process that they go ahead and sign off.

EH **Erik Houston** 27:15
OK.

RD **Randi Doveton** 27:20
Or it may be that they want to go ahead and issue and before they sign off. Rihanna, can you elaborate on that a little bit?

BD **Briana Denmark-Smith** 27:30
Yes, that's correct. Um, so if we have the plans in hand, we can go ahead and pre review and already sign up for the Uh remodel.

RD **Randi Doveton** 27:41
Right. So you won't have to actually have your food service permit, which you won't get until your final inspection and everything's done before we issue. That's kind of like, you know, a catch 22 for you if we told you that.

EH **Erik Houston** 27:48
Right.
Right, 'cause I mean that that permit I don't get until there's a thermometer in food, I got it.

RD **Randi Doveton** 27:56
So if you're working with them and they have what they need, they'll generally sign off for us to issue the zoning compliance and your signage. And then you can pull your building permits and implement everything they're going to need to be able to actually issue your food service because they can't do that till you make your remodels.

EH **Erik Houston** 28:17
Right. Understood.
OK, well, I think that gives me an excellent overview. I will relay this information to the clients and the architect as well. I wanted to thank everyone here today. Just

we've been very generous with your time. This was a very valuable meeting for us with.

Fantastic information and you know, we're hoping to have a great project here for you.

RD **Randi Doveton** 28:44

Thank you. If you have any other questions, please reach out to us.

EH **Erik Houston** 28:48

We will do. Thank you so much.

RD **Randi Doveton** 28:50

Everyone, thank you for your time this morning.

MG **Michael Greenwald** 28:53

Bye, bye.

● **Randi Doveton** stopped transcription